

CITY OF MOUNT VERNON
DESIGN REVIEW BOARD MEETING
CONTINUATION FROM APRIL 6, 2021
April 26, 2021

	DESCRIPTION	PUBLIC HEARING?		ACTION REQUIRED	STAFF CONTACT
1.	Approval of a New Façade, Parking and Landscaping for the Bank of America Building Located at 320 E Kincaid St	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Motion	Rebecca Lowell

STAFF RECOMMENDATION FOR THE DESIGN REVIEW BOARD DOWNTOWN DESIGN REVIEW

A. BACKGROUND INFORMATION:

PROJECT ADDRESS:	320 West Kincaid Street	PERMIT NUMBER:	PLAN21-0069
APPLICANT:	Magellan Architects	PROJECT PARCEL NUMBER(S):	P54136 and P54137
PROJECT DESCRIPTION:	The City's Design Review Board will be reviewing and approving the new façade, parking and landscaping site subject to design review per Mount Vernon Municipal Code Chapter 17.70 for the approximate 6,705 square foot Bank of America building located on the below-described approximate .68-acre site.		
APPLICABLE MVMC:	MVMC CHAPTERS 17.70, 17.45 AND 14.05		
EXHIBITS:	EXHIBIT A: Master Land Use Application from the Applicant EXHIBIT B: Proposed Plans and Information from the Applicant EXHIBIT C: Public Notice Information		

B. APPROVAL CRITERIA:

- 1. Does the proposed use comply with the site zoning? Provide details below:** ☒ Yes ☐ No ☐ NA

The project includes the following uses:

 - Existing 6,705 s.f. bank with a drive-through

The C-1a district allows "banks and financial institutions" as outright allowed uses [MVMC 17.45.030(E)].

New drive-in and drive-through uses are prohibited in the C-1a zone. The existing drive-through is allowed to continue on the subject site as a pre-existing, non-conforming use [MVMC 17.102.020(A)].

The retail office and retail storage areas will be required to be evaluated when the new retail use is established to ensure these uses are accessory and part of the new retail use.
- 2. Are the zoning code setbacks being complied with? Provide details below:** ☐ Yes ☐ No ☒ NA

There are no setbacks required in the zoning code; however, the structure will be required to comply with all Building and Fire Codes.

Encroachments into or over the City right-of-way could require separate approval(s).
- 3. Are the landscaping requirements being complied with? Provide details below:** ☐ Yes ☒ No ☐ NA

Four (4) street trees will be required to be planted: one (1) within the landscape strip abutting W Kincaid Street near the north entrance and three (3) within the existing landscape beds located in the parking lot east of the subject structure. Additional shrubs and ground cover will be required to be planted within the existing landscape beds located in the parking lot east of the subject structure.

4. Does the proposed development comply with the parking requirements found in MVMC 17.84? ☐ Yes ☒ No ☐ NA
Provide details below:

Yes, the site is zoned C-1a and is within 1,000 feet of surface parking lots owned by the City; and as such, there are no parking requirements to apply [17.84.020(E)(1)].

There are 44 parking spaces located on the property immediately east of the subject structure. Two ADA parking spaces are required to be provided with one of these spaces being a van accessible space. There is one existing non-van accessible space which means one van-accessible space must be provided. The Applicant will be responsible for ensuring all ADA spaces are the correct size, location, and have signs/stripping to comply with Federal, State and local laws.

5. DT STANDARD A - GROUND FLOOR TREATMENT:

- A. Non-residential uses are required to have a minimum 12-foot floor to ceiling height. Is this requirement satisfied? ☒ Yes ☐ No ☐ NA

The existing floor to ceiling height of the structure is approximately 12 feet.

- B. Non-residential uses are required to have transparent windows and/or door that occupy at least 60% of the façade area between 2.5 and 12 feet above abutting grade when abutting Downtown Core Streets. When abutting Secondary Core Streets the required transparency is reduced to 40%. Is this requirement satisfied? ☐ Yes ☒ No ☐ NA

Kincaid Street and Cleveland Avenue are both defined as Downtown Core Streets.

The north façade facing W Kincaid Street between 2.5 and 12 feet above abutting grade consists of approximately 614 square feet within which approximately 195.5 square feet of transparent windows/doors are shown. This is 31.8% of this façade.

The west façade facing Cleveland Ave between 2.5 and 12 feet above abutting grade consists of approximately 1,036 square feet within which approximately 310.1 square feet of transparent windows/doors are shown. This is 29.93% of this façade.

- C. Weather protection abutting no less than 75% of the street façade facing Downtown Core Street is required; additionally, the weather protection shall: ☐ Yes ☒ No ☐ NA

- Be at least five feet in width.
- Be constructed of steel and glass, fabric, or other materials of a permanent nature. Vinyl or plastic awnings are not allowed.
- Have a matte finish.
- Shall not be internally lit.

Are these requirements satisfied?

The weather protection abutting W Kincaid Street is 14.7 feet in width; which means it comprises 22% of the 66.25 linear foot frontage.

- D. Entry doors shall be largely transparent with at least half of their area being clear glazing. Is this requirement satisfied? ☒ Yes ☐ No ☐ NA

Entry doors are located on the north and south sides of the structure. Both doors are largely transparent with at least half of their area being clear glazing.

- E. A buildings primary entrance shall be located in the principal façade of the structure and shall be oriented toward the street. The primary entrance must be readily apparent as a prominent architectural component. Is this requirement satisfied? ☐ Yes ☐ No ☐ NA ☒ Maybe

There are two entrances to the structure, one on the north and one on the south façade. The north entrance faces W Kincaid Street and the south entrance faces an existing parking lot.

The Board will need to decide whether or not either entrance needs to have additional architectural components installed.

- F. Windows at street level shall permit visibility into the business and visibility shall not be significantly obscured by translucent treatment, etching, signage, window darkening film or other means. Is this requirement satisfied? ☐ Yes ☐ No ☐ NA ☒ Maybe

The windows on the north and south side of the structure allow visibility into the structure. However, the Board will need to decide if the windows on the west side of the building will need to allow visibility into the structure as these windows currently do not.

6. DT STANDARD B – BUILDING MASSING, ARTICULATION AND HUMAN SCALE:

- A. The maximum width of any continuous non-residential or mixed-use building façade facing a street shall be 120 feet without substantial vertical modulation and vertical definition. Is this requirement satisfied? ☒ Yes ☐ No ☐ NA

The building is approximately 65.3 feet east/west and 106.5 feet north/south.

- B. Articulation is required in 40-foot increments. No less than three of the following articulation elements are required to be incorporated into the building. ☐ Yes ☐ No ☐ NA ☒ Maybe

- Vertical piers or columns.
- Change in building materials separated by trim, joints, or other features to provide an appropriate articulation transition.
- Window fenestration patterns and/or entries
- Roof line modulation or articulation.
- Other design techniques that reinforce a human- scaled pattern that is compatible with the building's surrounding context.

Are these requirements satisfied?

The north, west, and south side of the structure have alcoves providing articulation. The Applicant is showing the existing columns to be clad in new metal column covers, installation of new metal panels and backlit perforated metal screens.

The Board will need to decide whether or not the articulation requirements have been met.

- C. Non-storefront windows are required to have a vertical proportion of approximately 2:1 height to width, must be surrounded by trim, molding, sills, or other architectural features, and must recess or project at least three-inches from the façade. Are these requirements satisfied? ☐ Yes ☐ No ☐ NA ☒ Maybe

Most of the windows have a vertical proportion of approximately 2:1 (height to width). However, the windows on the north and south side of the structure above the doors do not meet this proportion (the south windows are approximately 2.25 wide by 2.6 tall and the north windows are approximately 2.5 wide by 3.6 tall).

The Applicant will need to verify that all of the windows will be surrounded by trim, molding, sills or other architectural features and that they recess or project at least three-inches from the façade.

- D. All buildings must be composed of three sections to include a base, middle and top (i.e. tripartite design). Is this requirement satisfied? ☐ Yes ☐ No ☐ NA

☒ Maybe

The Board will need to decide if they are satisfied with this criterion.

- E. All buildings must have roofs that incorporate three dimensional architectural material at the upper edge of facades or soffit overhangs. Roofs are required to include: ☐ Yes ☐ No ☐ NA

☒ Maybe

- Decorative rooflines, including cornices, frieze or other roof line elements visible from the ground.

Are these requirements satisfied?

The Board will need to decide if they are satisfied with this criterion.

7. DT STANDARD C – BUILDING FACADES AND DETAILS:

- A. Existing brick or case stone masonry facades are not allowed to be covered, obscured, painted or in any way altered from their original condition. Is this requirement satisfied? ☐ Yes ☐ No ☐ NA

☒ Maybe

The Board will need to decide if they are satisfied with this criterion with the changes proposed by the Applicant.

- B. Facades shall be stone, cast stone, terra cotta, or brick. Is this requirement satisfied? ☐ Yes ☐ No ☐ NA

☒ Maybe

The Applicant is proposing new metal panels, metal screens and replacing existing wood cap with metal cap. The Board will need to decide if they are satisfied with this criterion with the changes proposed by the Applicant.

- C. Building facades are required to have muted, subdued colors used for large areas and backgrounds to unify the composition. Is this requirement satisfied? ☐ Yes ☐ No ☐ NA

☒ Maybe

The Board will need to decide if they are satisfied with this criterion with the colors proposed by the Applicant.

- D. Is the Applicant using the City's pre-approved paint colors? ☐ Yes ☐ No ☐ NA

☒ Maybe

No, the Applicant describes the colors chosen as "Slate Gray", "Regal White" and "Metallic Silver".

- E. Applied façade materials are required to be extended around building corners and extensions, or used only in recessed bays to avoid a "passed-on" appearance. Is this requirement satisfied? ☐ Yes ☐ No ☐ NA

☒ Maybe

The Board will need to decide if they are satisfied with this criterion.

- F. Flat, blank walls are not permitted – blank walls are defined as a surface of 400 s.f. or more. Is this requirement satisfied? ☐ Yes ☒ No ☐ NA

The east and west elevations all have flat, blank walls with surface areas of 400 s.f. or more.

G. Following is a list of prohibited materials:

☐ Yes ☐ No ☐ NA

☒ Maybe

- Metal siding
- Corrugated fiberglass
- Mirror or metalized reflective glass
- Plywood
- Masonite
- Chip Board siding
- Exterior insulated finish system
- Cinder-block
- Cement board panels when used on ground floors
- Siding when used on ground floors
- Chain link fencing
- Field Stone (natural or faux)
- Exposed aggregate
- Faux Masonry
- Vinyl siding

Are these requirements satisfied?

The Board will need to determine if the proposed cladding consisting of metal panels, perforated metal screens, and wood patterned metal panels at entry alcoves can be permitted.

H. Two of the following elements are required to be incorporated into ground floor facades:

☐ Yes ☐ No ☐ NA

☒ Maybe

- Transom windows
- Recessed entry
- Decorative door
- Decorative, building-mounted light fixtures
- Bay windows
- Decorative use of materials such as mosaic tiles, wrought iron, corbels, or outlooks.

Are these requirements satisfied?

The north façade fronting W Kincaid Street has transom windows and a recessed entry. The west façade fronting Cleveland Ave. does not appear to have at least two of the required elements. The Board will need to determine if they are satisfied with this criterion.

I. Lighting is required to emphasize the building and landscaping, and to provide visibility and security. All lighting is required to be incandescent or LED and must comply with the following:

☐ Yes ☒ No ☐ NA

- Lighting on the building and in landscape areas must be integrated with the building design, create a sense of safety and encourage pedestrian activity after dark.
- Must be adequate along sidewalks and alleys to provide well-lit pedestrian walkways.
- Must be shielded to reduce glare and eliminate light being cast into the night sky.
- Flashing or strobe lighting is prohibited.
- Alleys shall be illuminated for safety, vehicle and pedestrian use.

Are these requirements satisfied?

The plans submitted do not demonstrate compliance with these requirements. The Applicant will need to submit additional information before these requirements can be evaluated.

8. DT STANDARD D – BUILDING LOCATION AND SITE PLANNING:

- A. Buildings on Downtown Core Street shall be placed on the street edge lot lines with parking located to the side or behind buildings. Is this requirement satisfied?** ☐ Yes ☐ No ☒ NA

Not Applicable, this is an existing building.

- B. Pedestrian friendly building elements shall be incorporated at intersections, street corners, buildings with two street frontages, and alley entrances by incorporating features such as inset corners, plazas, decorative landscaped areas, cropped building corners, and display windows. Are these requirements satisfied?** ☐ Yes ☐ No ☒ NA

Not Applicable, this is an existing building.

- C. Decorative treatments within the sidewalk, including special paving patterns and building entryway tiling shall be preserved or replicated. Is this requirement satisfied?** ☐ Yes ☐ No ☒ NA

Not Applicable, this is an existing building.

- D. The use of alleys for services and public-oriented activities shall be required and maintained. Is this requirement satisfied?** ☐ Yes ☐ No ☒ NA

Not Applicable, this is an existing building.

- E. Surface parking lots abutting the street shall be screened with a landscaping buffer that is no less than five feet in depth and has smaller street trees planted on 15 foot centers, or 30 feet depending on type of tree, with shrubs between the street trees to fill out the planter area. A low concrete wall, elevated planter, or other similar feature shall be installed in conjunction with the planter strip to screen the parking area visible from public streets. Are these requirements satisfied?** ☐ Yes ☒ No ☐ NA

The parking lot is existing with at-grade landscaping. The north landscaping strip abutting the parking lot is approximately 3.7 feet in width and has three deciduous trees and has 14 shrubs installed. The east landscaping strip abutting the parking lot is approximately 2.5 feet wide and has 8 shrubs installed.

Staff suggests the Board add a condition of approval requiring additional shrubs and ground cover to be installed within the north and east landscaping strips abutting the parking lot such that the shrubs and groundcover installed will cover 60% of the landscape strip within 2-years of planting the new shrubs and groundcover.

9. DT STANDARD F - SIGNAGE:

- A. Signs must be used in a way that compliments the building and historical conditions in material, style, and color. Is this requirement satisfied?** ☐ Yes ☒ No ☐ NA

All signage will be required to be changed from internally illuminated signs to externally illuminated and/or custom neon signs.

- B. Wall signs shall be required to comply with a standard limiting them to two-thirds the dimension of the articulation interval of the facade they are placed on. Wall signs shall also be centered and proportional to the building facade. Are these requirements satisfied?** ☒ Yes ☐ No ☐ NA

The wall signs on the north and south sides of the building comply with these criterion.

- C. Signs shall primarily be located on flat panels of the facade, painted directly on the store front windows, upper story windows, on awnings, or mounted to bars perpendicular to the building. Are these requirements satisfied? ☒ Yes ☐ No ☐ NA

Both wall signs are located on flat panels of the façade.

- D. Signs may not cover or obscure architectural features of a building, including windows, cornices, or columns. Is this requirement satisfied? ☒ Yes ☐ No ☐ NA

Both wall signs do not cover or obscure architectural features of the building.

- E. Sign Materials. Painted signs in storefront windows and single-faced, flat-surfaced, painted wood signs are all allowed and are preferred signage. Vinyl letters are allowed. Extruded aluminum or plastics are not allowed. Is this requirement satisfied? ☐ Yes ☐ No ☒ NA

No, the applicant will be required to change the type of signs proposed for this building.

- F. Signage visible on ground-floor windows shall not exceed 30 percent of the total window area per tenant. Signage shall not be installed on any storefront window in the portion of the window between four to six feet above the sidewalk on buildings abutting Downtown Core Streets. Are these requirements satisfied? ☒ Yes ☐ No ☐ NA

The Applicant has not proposed signage visible on the ground floor windows.

- G. Bonus Blade Signs. Blade signs (double-faced projecting signs hanging or projected perpendicular to the building) are encouraged. Blade signs shall not count towards the maximum sign allowance per MVMC Chapter 17.87 so long as they comply with all of the following: ☒ Yes ☐ No ☐ NA

- They shall be consistent in design with District goals of historical compatibility and sensitivity.
- No more than one blade sign shall be allowed for every 40 feet of building frontage on a public road (excluding alleys).
- Blade signs cannot be placed closer than 15 feet from each other when installed on similar horizontal planes.
- Each blade sign shall not exceed eight square feet in size.
- Horizontally oriented – extending no more than eight feet from face of the building and vertically-oriented extending not more than three feet from the face of the building.
- Structural supports of a dark or subdued color.

Are these requirements satisfied?

The Applicant has not proposed bonus blade signs.

- H. Signage cannot project over the roof line of any structure. Is this requirement satisfied? ☒ Yes ☐ No ☐ NA

The Applicant's proposed signs do not project over the roof line of the structure.

- I. Signs lighting must be subdued in brightness and is required to use a LED source, or a source that replicates the warmth and color quality of incandescent lighting. In addition, signs are required to comply with the following: ☐ Yes ☒ No ☐ NA

- Internally illuminated cabinet signs are not allowed.
- Signs that flash, blink, vary in intensity, revolve, or otherwise in motion or appear to be in motion are not allowed.

Are these requirements satisfied?

All signage will be required to be changed from internally illuminated signs to externally illuminated and/or custom neon signs.

- J. Awning, canopy, and marquee signs shall comply with the following as applicable: ☒ Yes ☐ No ☐ NA

- Awning signs shall be painted or screened directly onto the fabric.
- Must consist of no more than two colors.
- Must be individual, channel-cut characters of metal, wood, or composite and shall be mounted on the top of the canopy at the front edge.

Are these requirements satisfied?

The Applicant's proposed signs do not include awning, canopy or marquee signs.

- K. Letter style, color, intensity and overall impact of the neon sign shall be evaluated for compatibility with the other signs and buildings in the District. Neon signs shall be designed to reflect the unique nature of the use within. Non-custom neon signs are not permitted. Is this requirement satisfied? ☐ Yes ☐ No ☒ NA

Should the Applicant choose to install custom neon signs this criterion will apply.

- L. Electronic message center (EMC) signs are not allowed. EMCs are signs capable of displaying words, symbols, figures or images that can be electronically changed by remote or automatic method. Is this requirement satisfied? ☒ Yes ☐ No ☐ NA

The Applicant is not proposing an EMC sign.

10. DT STANDARD G – OUTDOOR UTILITIES, FACILITIES AND RELATED ITEMS:

- A. All mechanical equipment, utility meters and vaults, rooftop mechanical and communication equipment shall be screened from pedestrian view at streets. Is this requirement satisfied? ☐ Yes ☐ No ☐ NA
☒ Maybe

The Board will need to determine if the equipment on the south side of the structure can/should be screened.

All rooftop equipment will need to be screened.

- B. Newly constructed buildings shall have dumpsters located within the dripline of the buildings and shall be enclosed within a structure approved by City's sanitation department. Is this requirement satisfied?**

☐ Yes ☒ No ☐ NA

A code-compliant dumpster enclosure must be installed.

C. STAFF RECOMMENDATION:

Accompanying this document is a copy of the plans that are being recommended for ☐ **APPROVAL** ☒ **APPROVAL WITH CONDITIONS**, or ☐ **DENIAL** by the undersigned Development Services Department staff; subject to compliance with the standards of the Mount Vernon Municipal Code and the following specific conditions of approval:

1. The following changes shall be made to the building plans. Once these revisions are made, the City's Design Review consultant can review and approve the revised plans so long as the plans incorporate the following comments and are code compliant.
 - A. All changes recommended by the Board resulting from their hearing.
 - B. The Applicant needs to identify where rooftop mechanical and communication equipment will be located; and once located screening needs to be identified so that these items are not visible.
 - C. Four (4) street trees will be required to be planted: one (1) within the landscape strip abutting W Kincaid Street near the north entrance and three (3) within the existing landscape beds located in the parking lot east of the subject structure. Additional shrubs and ground cover will be required to be planted within the existing landscape beds located in the parking lot east of the subject structure.
 - D. Additional shrubs and ground cover be installed within the north and east landscaping strips abutting the parking lot such that the shrubs and groundcover installed will cover 60% of the landscape strip within 2-years of planting the new shrubs and groundcover.
 - E. ADA parking spaces complying with Federal, State and City regulations shall be installed.
 - F. Wall signs be resubmitted and changed from internally illuminated to externally illuminated and/or custom neon signs.
 - G. A new code compliant dumpster enclosure shall be installed.



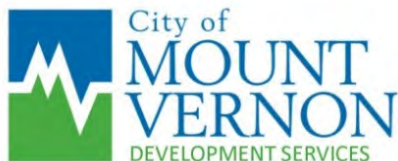
**Rebecca Lowell, Principal Planner
Development Services Department**

March 31, 2021

Date

D. NOTES TO THE APPLICANT:

This approval is limited to the elements of Design Review for development in the City's historic downtown that is codified within MVMC Chapter 17.70. This approval does not imply or convey permission to construct anything shown on the plans accompanying this staff report. The Applicant will be required to obtain Building, Fire and Engineering Permits that will authorize all construction activities.



MASTER LAND USE APPLICATION FORM

① PROPERTY WHERE WORK IS OCCURRING

ADDRESS:	
PARCEL NUMBER(S):	

② PROPERTY OWNER INFORMATION

NAME:				
ADDRESS:	HOUSE # AND STREET	CITY	STATE	ZIP
TELEPHONE:		CELL:	EMAIL:	

③ CONTACT PERSON

SELECT THE ONE PERSON THE CITY WILL CONTACT FOR ANYTHING RELATED TO THIS PERMIT?				
<input type="checkbox"/> Applicant <input type="checkbox"/> Property Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Other (list below)				
NAME:				
ADDRESS:	HOUSE # AND STREET	CITY	STATE	ZIP
TELEPHONE:		CELL:	EMAIL:	

④ PERMITS & APPROVALS BEING SUBMITTED

TYPE OF PROJECT (CHECK ALL THAT APPLY):

Accessory Dwelling Unit (ADU)
 Boundary Line Adjustment
 Comprehensive Plan Amendment
 Conditional Use Permit (Administrative)
 Conditional Use Permit (Hearing Examiner)
 Critical Area Permit
 Design Review (Administrative)
 Design Review (Design Review Board)
 Design Review (Hearing Examiner)
 Environmental Review (SEPA)
 Major Modification
 Master Plan for Public Zoned Properties
 Model Home permit
 Non-Conforming Use - Special Permission

Preliminary Plat (> 9 lots/tracts)
 Preliminary Short Plat (< 9 lots/tracts)
 Preliminary Binding Site Plan
 Rezone
 Shoreline Exemption
 Shoreline Substantial Development Permit
 Shoreline Conditional Use
 Shoreline Variance
 Special Use Permit
 Street Vacation per MVMC Chapter 12.40
 Variance (Hearing Examiner)
 Variance (Administrative)
 Other, list here:

⑤ SITE AND PROJECT INFORMATION

EXISTING ZONING DESIGNATION:	
EXISTING COMPREHENSIVE PLAN DESIGNATION:	
SITE AREA (IN SQUARE FEET AND ACRES):	
PROJECT DESCRIPTION: (ATTACH ADDITIONAL SHEETS FOR THE PROJECT DESCRIPTION, IF NECESSARY)	

A. IS WORK WITHIN THE CITY'S RIGHT-OF-WAY PROPOSED? IF YES, YOU WILL BE REQUIRED TO SUBMIT A RIGHT-OF-WAY APPLICATION.	YES	NO
B. IS THE PROPERTY LOCATED IN A FLOOD ZONE?	YES	NO
C. ARE THERE SLOPES IN EXCESS OF 15% ON OR ABUTTING THE SITE? IF YES, A GEOTECHNICAL REPORT WILL LIKELY NEED TO BE SUBMITTED.	YES	NO
D. ARE THERE CRITICAL AREAS OR BUFFERS ON OR ABUTTING THE PROJECT SITE? IF YES, CRITICAL AREA REPORTS WILL LIKELY NEED TO BE SUBMITTED.	YES	NO
E. WILL MORE THAN 2-ACRES BE CLEARED AND/OR MORE THAN 5,000 BOARD FEET OF TIMBER BE HARVESTED? IF YES, YOU WILL BE REQUIRED TO SUBMIT A LAND CLEARING PERMIT.	YES	NO
F. IS THIS PROJECT SUBJECT TO THE SEPA PROCESS? IF YES, YOU WILL BE REQUIRED TO SUBMIT A SEPA CHECKLIST.	YES	NO
G. IS THE PROJECT SUBJECT TO DESIGN REVIEW? IF YES, YOU WILL NEED TO PROVIDE PLANS AND OTHER MATERIALS TO COMPLY WITH DESIGN REVIEW.	YES	NO

****STOP HERE AND FOLLOW THESE INSTRUCTIONS****

1. Save this document to your computer and name it Master Land Use Application.
2. Navigate to the City's permit portal by clicking [HERE](#).
3. Download and then print the Signature Page for Master Land Use Applications.
4. Initial and Sign the Signature Page where indicated.
5. Scan the signed Signature Page as a PDF and save it to your computer.
6. Download, print and sign the Agent Authorization Form if the property owner has not signed the Master Land Use Application.

**Received**

02/09/2021

⑥ READ, INITIAL AND SIGN WHERE INDICATED

Read and initial each of the following statements prior to signing this application:

PS	I understand that land use and/or planning permits do not authorize earth disturbing activities, the removal of vegetation, or the construction of buildings. I understand that additional permits will be required after my land use and/or planning permitting process is completed. I understand that no earth disturbing activities (including the removal of vegetation) may take place until after my land use and/or planning process is complete, and only after I have received additional permits such as Fill & Grade, Building Utility, or Right-of-Way permit(s).
PS	I understand that if critical areas (wetlands, streams, steep slopes, et cetera) are found on or near my property I am not authorized to impact these areas in any way and will be required to leave an undisturbed buffer area around the critical area. I also understand that depending upon the size and scope of my project that I may be required to enhance a critical area buffer.
PS	I understand that depending upon the size and scope of my project, I may be required to provide maintenance and/or performance bonds for items such as landscaping, critical areas, public roads and/or public utilities that I construct or install.
PS	I understand that I am solely responsible for providing complete and accurate information to the City. I understand that if my application is missing information or if inaccurate materials are submitted, my permits will be delayed. I understand that depending on how inaccurate and how incomplete my application is or becomes, the Development Services Department could require an entirely new application be submitted. I understand that when and if conditions change from that which my application originally represented, I am responsible for letting the City staff person assigned to my project know.
PS	I understand that I am applying for permits from the City of Mount Vernon only; and that additional permits from other Federal and State agencies could be required. I understand that the City of Mount Vernon cannot advise me of permits that are required from other agencies, and that I must contact these agencies to make sure I comply with their requirements. These agencies include (but are in no way limited to): Corps of Engineers, Department of Natural Resources, Department of Ecology, and Northwest Clean Air Agency.
PS	I understand that I may be required to properly and timely post a pink land use sign on my property during land use and/or planning permitting process. I understand that I am responsible for making sure that this sign continues to be posted on my property until my land use and/or planning process is completed; and I understand that I am responsible for removing and disposing of this sign once my land use process is completed.
PS	I understand that I will be responsible for paying consultants that the City may deem necessary to review certain aspects of my application. I understand that these consultant reviews could include special inspections, traffic concurrency, critical area, landscaping, et cetera.

By affixing my signature hereto, I certify that I am the owner, or am acting as the Owner's authorized agent, and that the application and documents contained with this submittal are complete and accurate to the best of my knowledge and abilities. If your title report lists a company, partnership or other owners you must submit evidence that you are authorized to sign on behalf of the entity or others that are listed.

If you are an authorized representative you must download, complete and submit an **AGENT AUTHORIZATION FORM**.

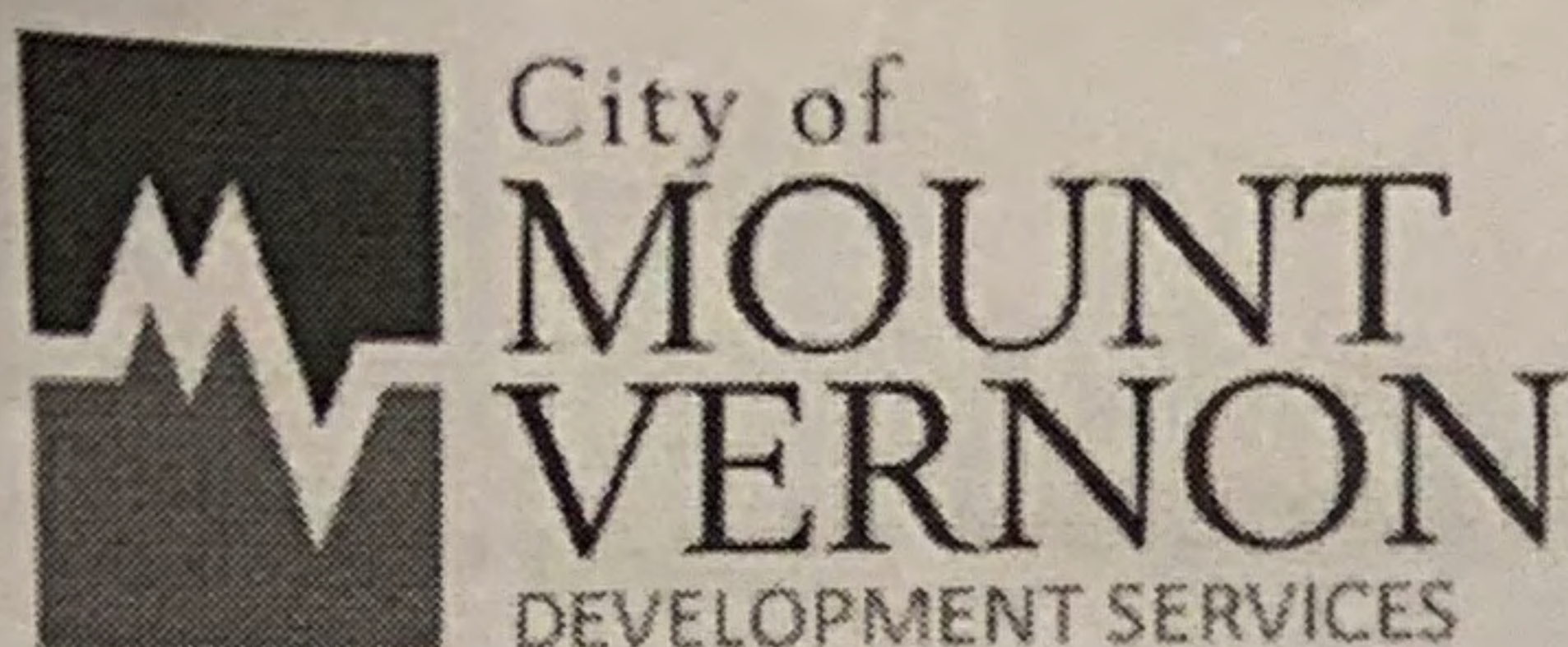
Please attach additional signature sheets if there is more than one owner.

UNDER PENALTY OF PERJURY I SWEAR THAT ALL INFORMATION PROVIDED IS TRUE AND CORRECT.

Paul Soldwedel
Signature

02.02.2021
Date

PAUL SOLDWEDEL
Printed Name



AGENT AUTHORIZATION FORM FOR MASTER LAND USE APPLICATIONS

Use this form to authorize someone other than the property owner to apply for permits for the subject property.

Project Name: Bank of America - Mount Vernon Exterior Remodel

Property Address: 320 W KINCAID ST, MOUNT VERNON, WA 98273

Property Parcel Numbers: P54136

City, State, Zip: MOUNT VERNON, WA 98273

AUTHORIZATION STATEMENT

I/we, as the owners of the property identified above, authorize the below listed individual(s) to act as our agent to submit applications, receive correspondence regarding the above-listed application, and sign to receive notices on my/our behalf.

DESIGNATED AGENT

Agent #1 Name: Paul Soldwedel

Agent #1 Address: 8383 158TH Ave NE, Suite 280

Agent #1 City, State, Zip: REDMOND, WA 98052

Agent #2 Name:

Agent #2 Address:

Agent #2 City, State, Zip:

PROPERTY OWNER SIGNATURE(S)**

Signature: John G. Kamb Signature: _____
Printed Name: JOHN G. KAMB Printed Name: _____
Title: Owner + Agent Title: _____
Company: _____ Company: _____
Date: _____ Date: _____

**Each property owner listed above must have their signature notarized

STATE OF WASHINGTON

COUNTY OF SKAGIT

} ss.

I certify that I know or have satisfactory evidence that John G. Kamb is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the owner + agent to be the free and voluntary act and deed of said owners, for the uses and purposes therein mentioned.

Given under my hand and official seal this 02 day of February, 2021



John G. Kamb, Jr.
Notary Public
Residing at Mount Vernon, WA
My appointment expires 5-25-24



Kamb Law Office

City of Mount Vernon

RE: 320 W Kincaid St Mount Vernon – Bank of America

I, John G. Kamb Sr. am not only an owner of the above referenced property, but also serve as agent for all other owners of this family held property. This land has been in the family through many generations, and as executor and agent, I am able to sign unilaterally for anything on this property, which includes, but is not limited to leases, utilities, permits, land use, easements, etc.

If the City requires any additional information, I am happy to provide.

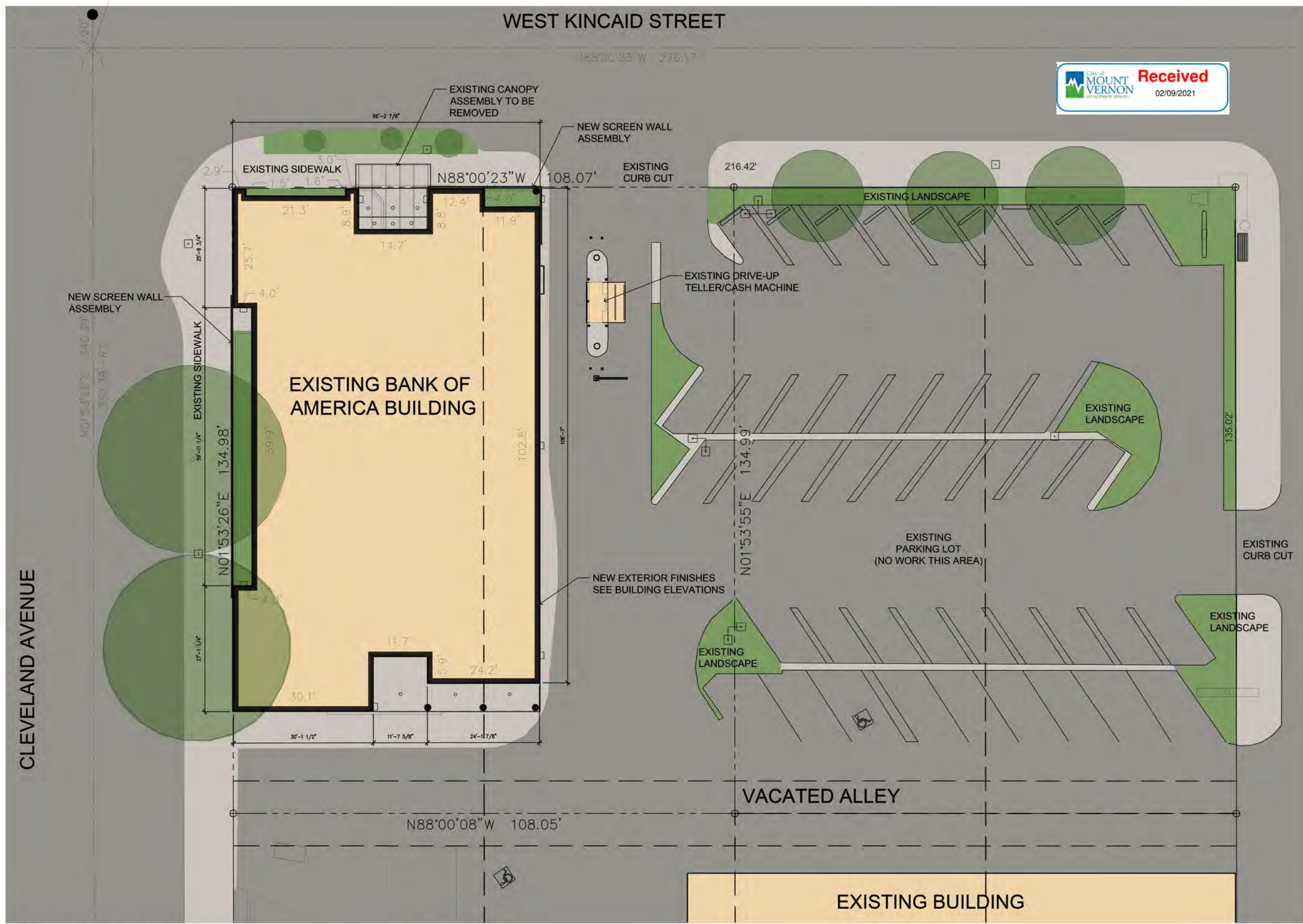
Sincerely,

John G. Kamb

**BANK OF AMERICA MT VERNON
EXTERIOR REMODEL
320 KINCAID ST, MT VEI**

8383 158TH AVE NE #280 •

02/09/2021
#20-116



SITE PLAN
SCALE: 1" = 20' - 0"

PROACTIVEACCESSIBLE.....OPTIMAL

METAL PANEL (EPS-5, PURE + FREEDOM ROMA NOCE #SN043, SATIN)

PEDESTRIAN LIGHTING SCREEN

METAL PANEL (EPS-2, AEP SPAN 'SLATE GRAY')

METAL PANEL (EPS-3, AEP SPAN 'REGAL WHITE')

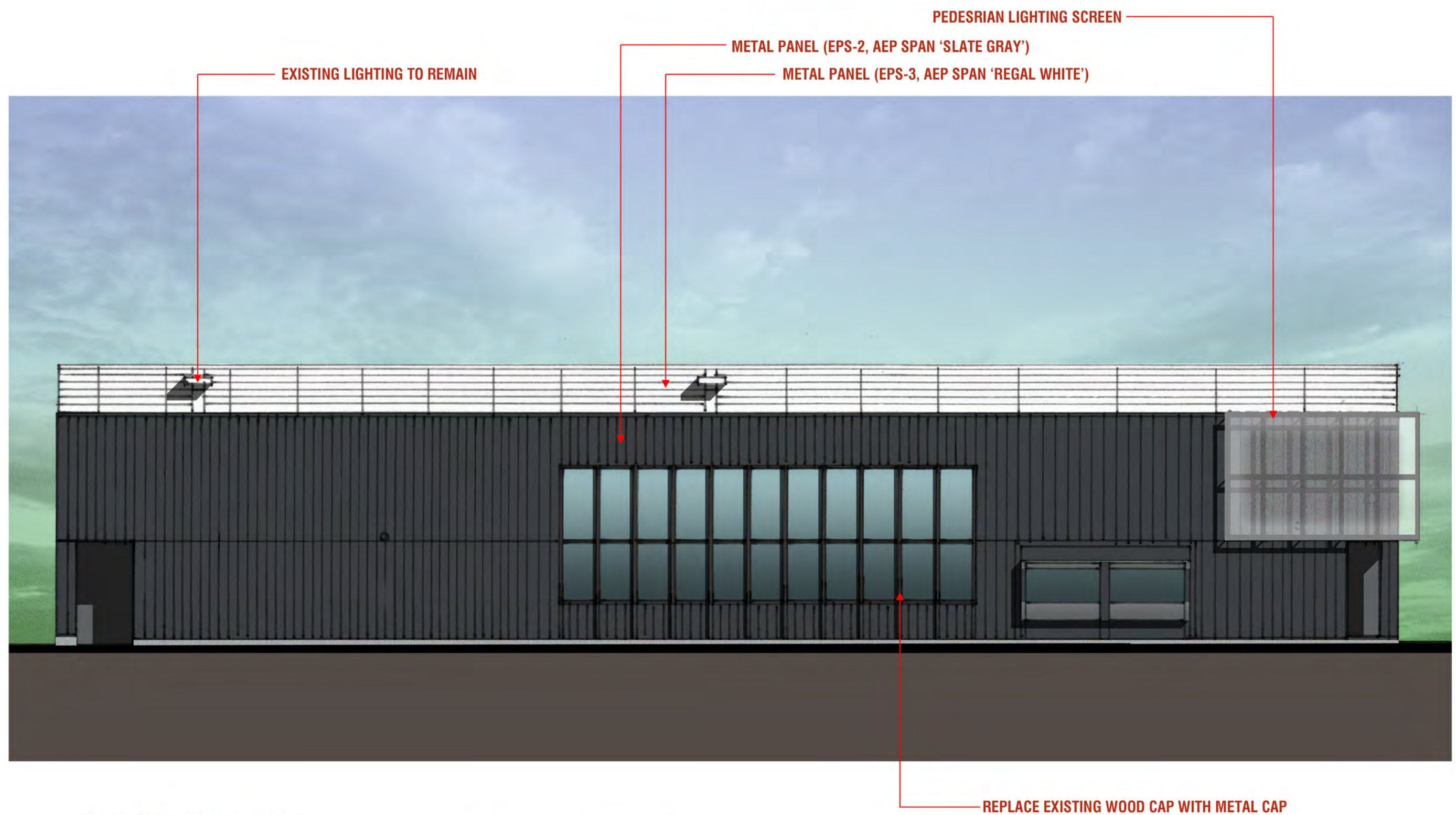


REPLACE EXISTING WOOD CAP WITH METAL CAP

PERSPECTIVE
SCALE: NTS

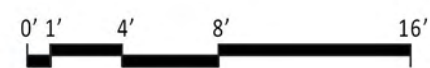


**BANK OF AMERICA MT VERNON
EXTERIOR REMODEL
320 KINCAID ST, MT VERNON, WA 98273**



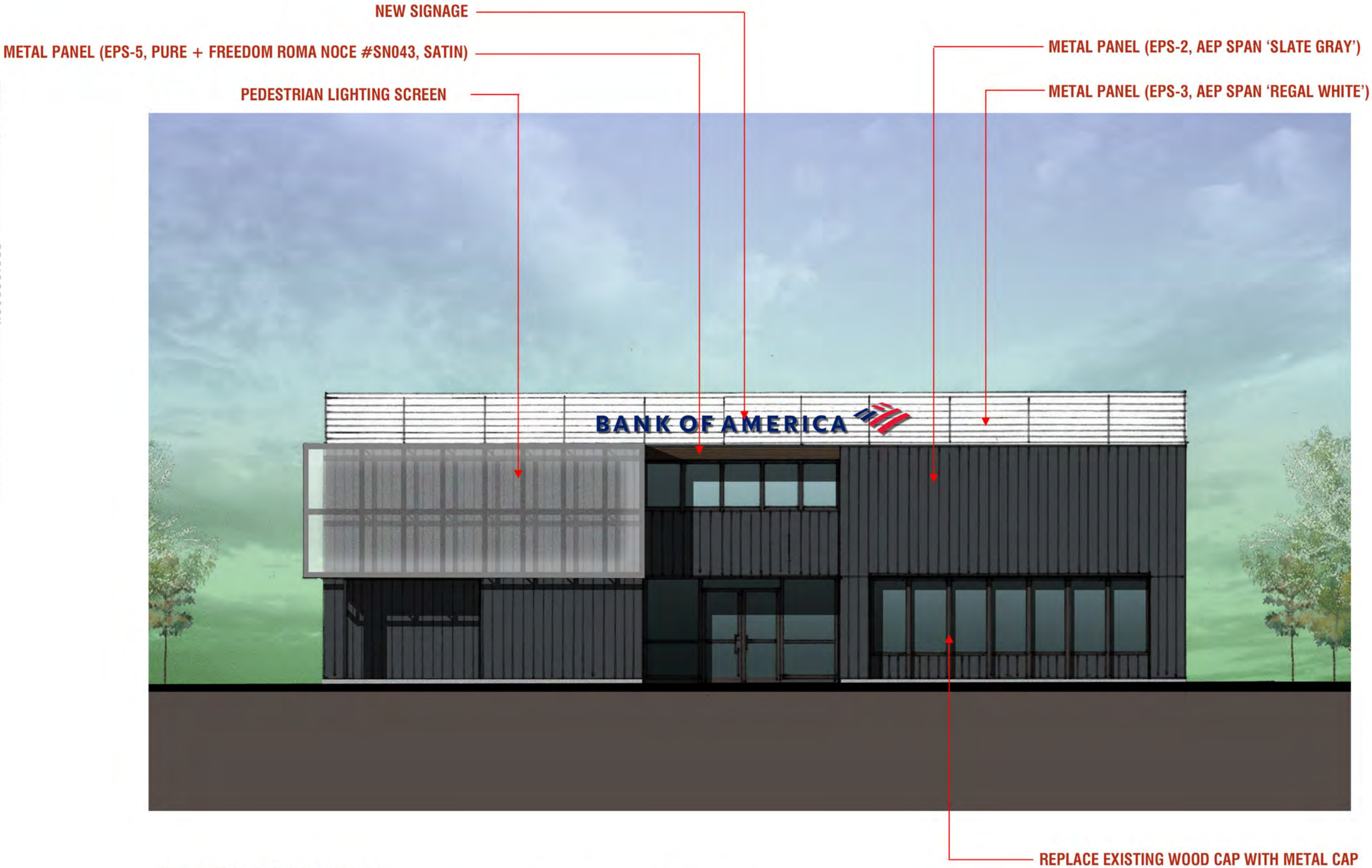
EAST ELEVATION

SCALE: 1/8"=1'-0"



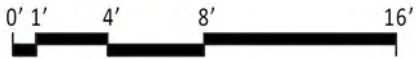
02/02/2021
#20-116

PROACTIVE.....ACCESSIBLE.....OPTIMAL



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



Magellan
ARCHITECTS

© 2018 MAGELLAN ASSOCIATES PLLC
8383 158TH AVE NE #280 • REDMOND, WA 98052 • 425.885.4300 • MAGELLANARCHITECTS.COM

**BANK OF AMERICA MT VERNON
EXTERIOR REMODEL
320 KINCAID ST, MT VERNON, WA 98273**



02/02/2021
#20-116



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



REPLACE EXISTING WOOD CAP WITH METAL CAP
WRAP EXISTING COLUMNS WITH METAL COLUMN COVERS - MATCH EPS-2

Magellan
ARCHITECTS

© 2018 MAGELLAN ASSOCIATES PLLC

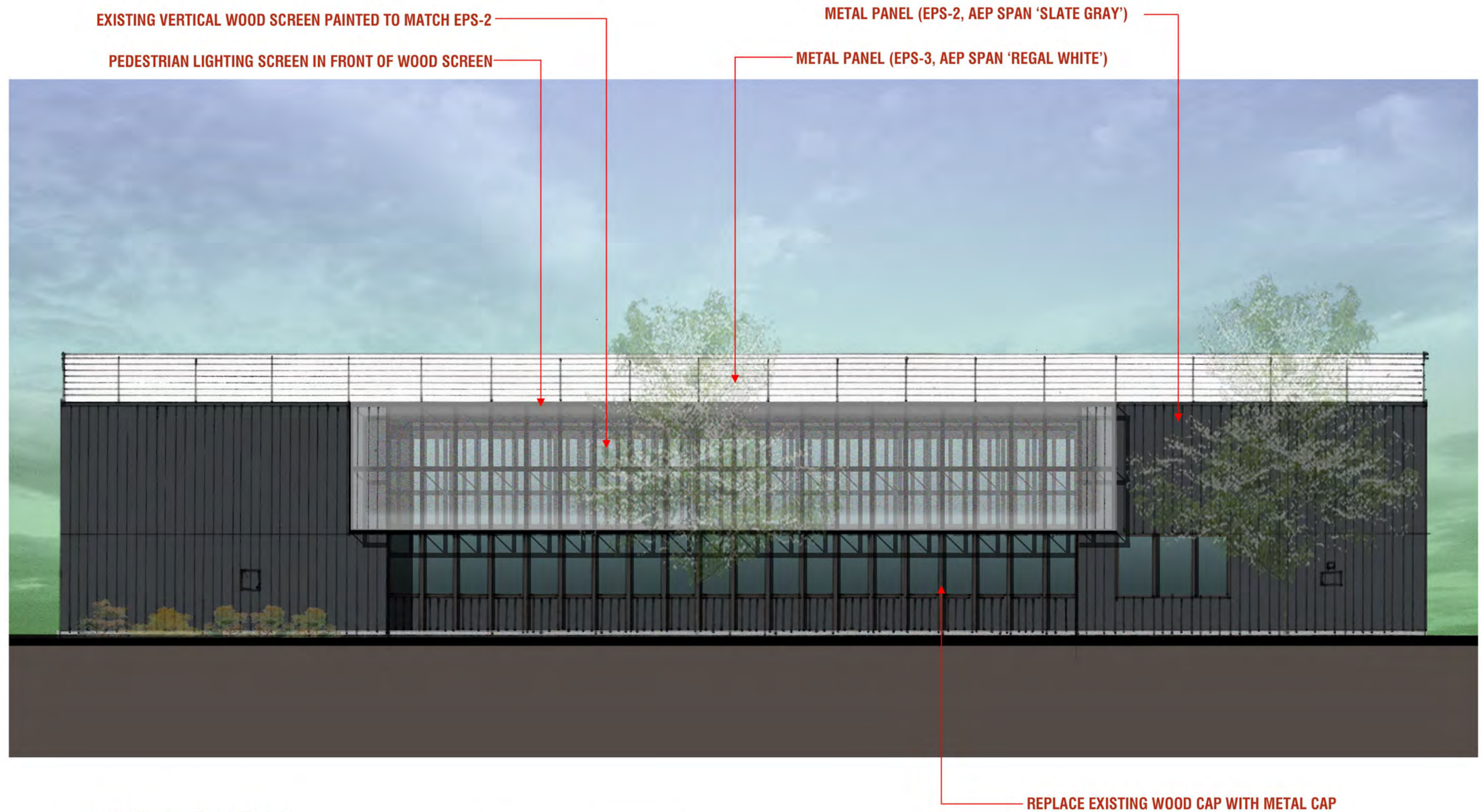
**BANK OF AMERICA MT VERNON
EXTERIOR REMODEL
320 KINCAID ST, MT VERNON, WA 98273**

8383 158TH AVE NE #280 • REDMOND, WA 98052 • 425.885.4300 • MAGELLANARCHITECTS.COM



02/02/2021
#20-116

**BANK OF AMERICA MT VERNON
EXTERIOR REMODEL
320 KINCAID ST, MT VERNON, WA 98273**



WEST ELEVATION

SCALE: 1/8" = 1'-0"



02/02/2021
#20-116



Bank of America



Bank of America
Mount Vernon Exterior Remodel

Issue for Permit

01/27/2021

320 W Kincaid St
Mount Vernon, WA 98273

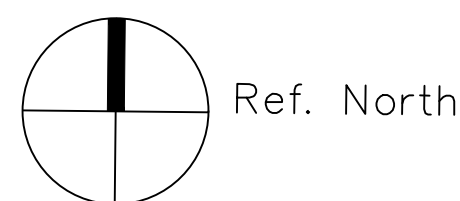
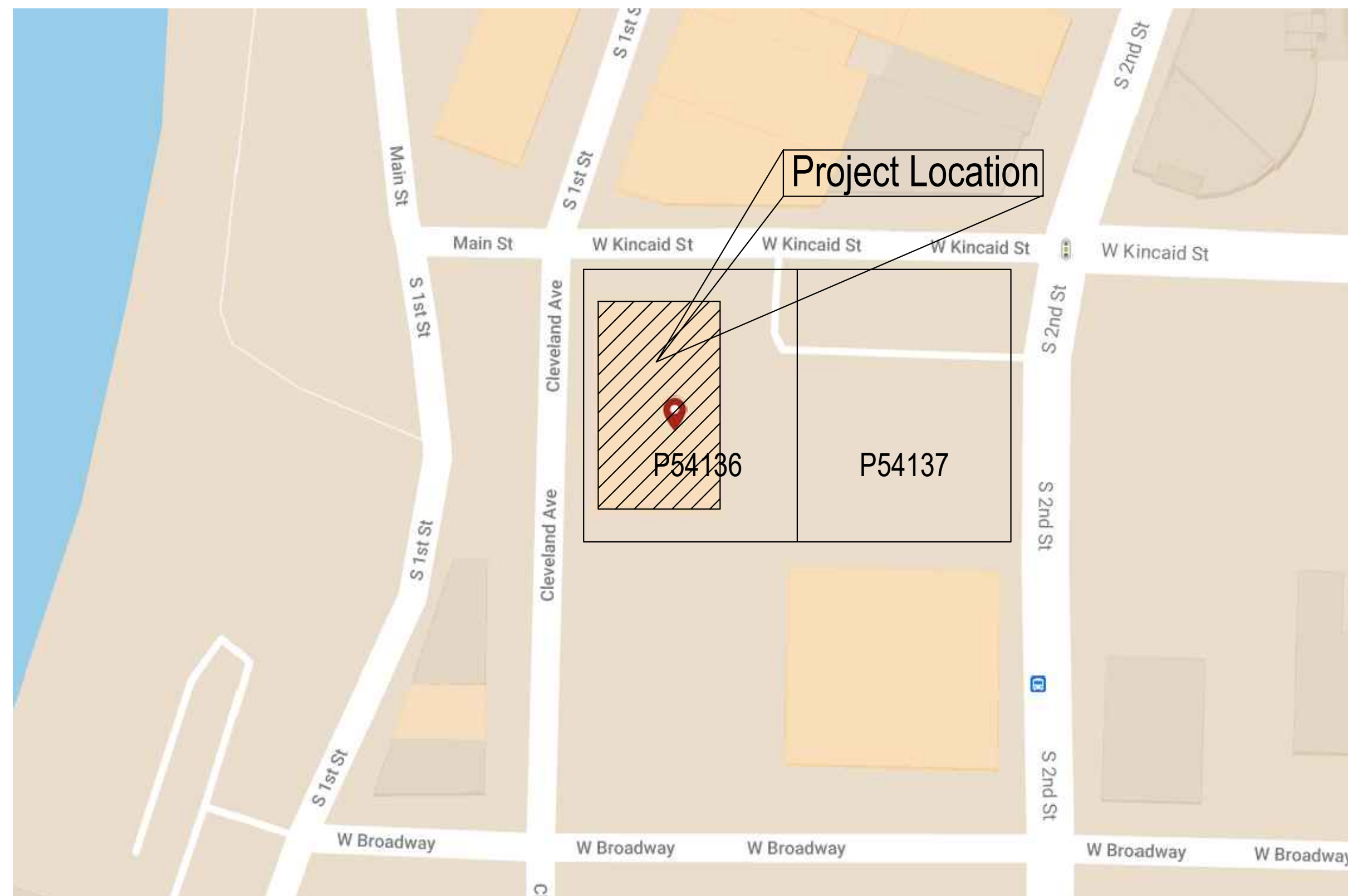
Project Management
JONES LANG LASALLE
800 5Th Ave, 15th Floor
Seattle, WA 98104
Tel.: 206-200-3374
Fax: 312-601-1540
Attn: Tiffany St John
e-mail: tiffany.st.john@am.jll.com

Architect
MAGELLAN ARCHITECTS
8383 158Th Ave NE, Ste 280
Redmond, WA 98052
Tel.: 425-885-4300
Fax: 425-885-4303
Attn: Paul Soldwedel
e-mail: pauls@magellanarchitects.com

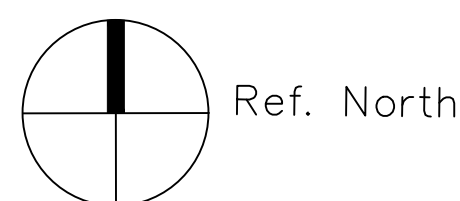
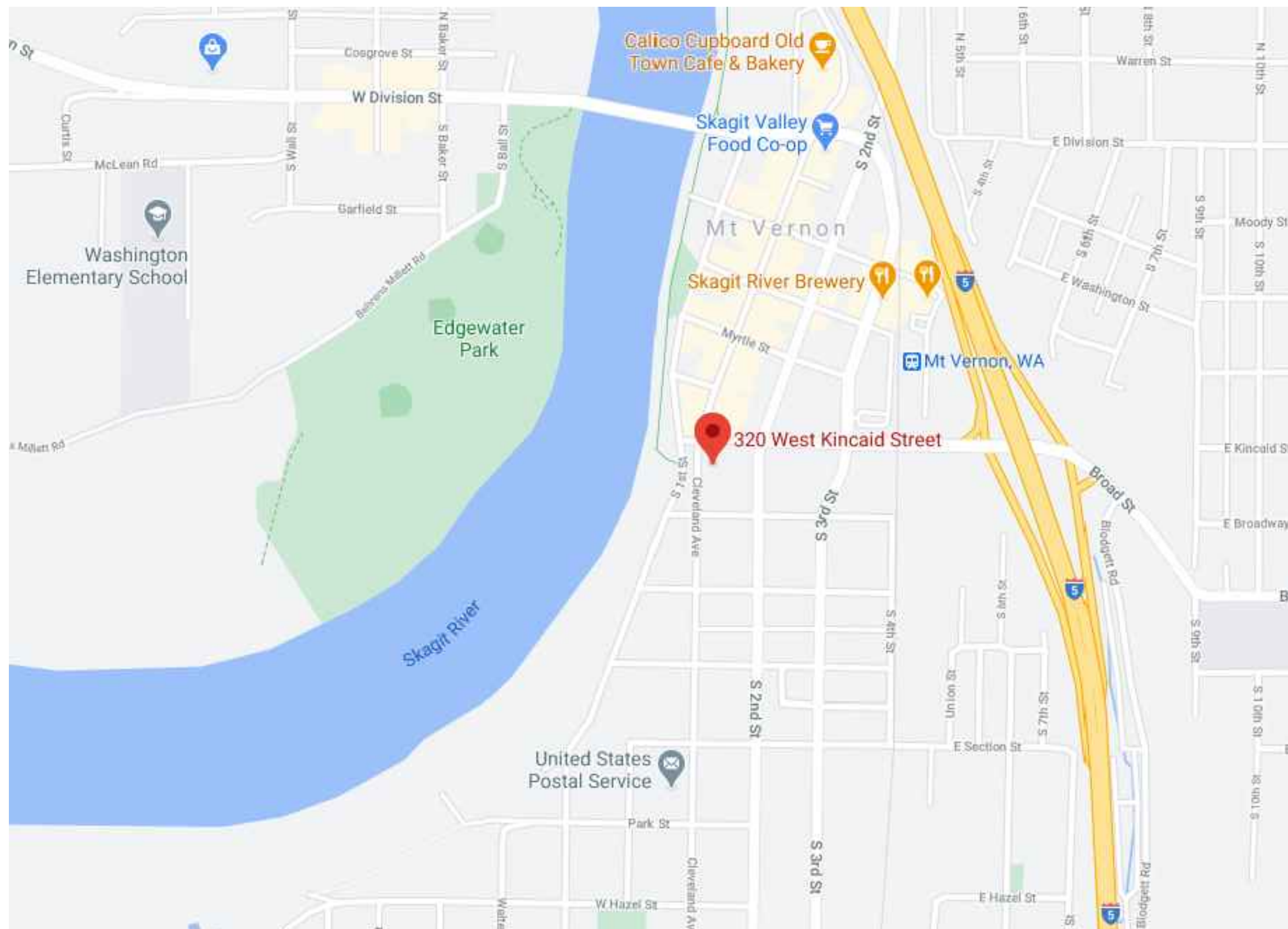
General Contractor
SCHUCHART
919 5th Avenue
Seattle, WA 98164
Tel.: 206-682-3030
Attn: Avery Wisler
e-mail: avery.wisler@schuchart.com



Architect Project #: 20-116



VICINITY MAP



DRAWING INDEX

ARCHITECTURAL

A00.00	DRAWING INDEX, PROJECT INFORMATION, CITY CODE, LOCATION MAP AND VICINITY MAP
A00.01	GRAPHIC SYMBOLS
A00.10	GENERAL NOTES
A00.50	EXISTING OVERALL SITE PLAN/DEMO PLAN
A02.01	FLOOR PLAN
A09.01	EXTERIOR BUILDING ELEVATIONS
A09.02	EXTERIOR BUILDING ELEVATIONS
A12.01	DETAILS

ARCHITECT:

COMPANY: MAGELLAN ARCHITECTS
ADDRESS: 8383 158TH AVE NE, SUITE 280
REDMOND, WA 98052
PHONE: 425.885.4300
FAX: 425.885.4303
CONTACT: PAUL SOLDWEDEL
EMAIL: PAULS@MAGELLANARCHITECTS.COM

PROJECT MANAGEMENT:

COMPANY: JONES LANG LASALLE
ADDRESS: 800 5TH AVE, 15TH FLOOR
SEATTLE, WA 98104
PHONE: 206.200.3374
FAX: 312.601.1540
CONTACT: TIFFANY ST JOHN
EMAIL: TIFFANY.ST.JOHN@AM.JLL.COM

CONTRACTOR:

COMPANY: SCHUCHART
ADDRESS: 919 5TH AVENUE SOUTH
PHONE: 206.682.3030
FAX: 206.682.6627
CONTACT: AVERY WISLER
EMAIL: AVERY.WISLER@SCHUCHART.COM

PROJECT INFORMATION

PROJECT ADDRESS:	320 W KINCAID ST MOUNT VERNON, WA 98273
LEGAL DESCRIPTION:	DK 3: LOTS 1 AND 2, BLOCK 1, RIVERSIDE TO MT VERNON VAC ALLEY ADJ
PARCEL NO:	P54136 and P54137
PROJECT NAME:	BANK OF AMERICA - EXTERIOR REMODEL MOUNT VERNON WA
ZONING:	C-1a - COMMERCIAL
PROPOSED USE:	BUSINESS (BRANCH BANK)
OCCUPANCY GROUP:	'B'
PROJECT SIZE:	PARCEL P54136: 14,603 SF (0.3372 ACRES), PARCEL P54137: 14,601 SF (0.3372 ACRES) TOTAL: (0.6744 ACRES) LOT COVERAGE: 6,705 SF (NO CHANGE TO IMPERVIOUS SURFACE)
PROJECT DESCRIPTION:	BUILDING EXTERIOR FINISH REPLACEMENT.
CONSTRUCTION TYPE:	V-B

CITY CODE

ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE FOLLOWING GOVERNING CODES:



2015 INTERNATIONAL BUILDING CODE WITH WASHINGTON STATE AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE
2017 NATIONAL ELECTRICAL CODE
2015 UNIFORM PLUMBING CODE

2009 ANSI A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

Bank of America Exterior Remodel Mount Vernon, WA

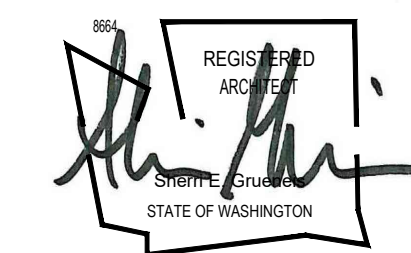
320 W Kincaid Street
Mount Vernon, WA 98273



	Issue	Date & Issue Description	By	Check
	PERMIT SUBMITTAL	01/27/21		

2

Seal/Signature



Project Name
BANK OF AMERICA - EXTERIOR REMODEL MT. VERNON, WA

Project Number

20-116

CAD File Name

Description
DRAWING INDEX, PROJECT INFORMATION, CITY CODE, LOCATION MAP AND VICINITY MAP

Scale

A00.00

GRAPHIC SYMBOLS (CONT.)	GRAPHIC SYMBOLS (CONT.)	GRAPHIC SYMBOLS (CONT.)	GRAPHIC SYMBOLS
POWER & COMMUNICATION <div> WALL MOUNTED DUPLEX WALL MOUNTED FOURPLEX WALL MOUNTED DEDICATED DUPLEX WALL MOUNTED SEPARATE DUPLEX WALL MOUNTED DEDICATED FOURPLEX WALL MOUNTED HALF DEDICATED FOURPLEX WALL MOUNTED TELEPHONE RECEPTACLE WALL MOUNTED TELE/DATA RECEPTACLE WALL MOUNTED 1 TELE/2 DATA RECEPTACLE - QUAD FACEPLATE TERMINAL IN SINGLE-GANG, DUPLEX J-BOX. WALL MOUNTED DATA RECEPTACLE WALL MOUNTED A/V RECEPTACLE WALL MOUNTED TV/CAMERA RECEPTACLE - 3" SQUARE. FLUSH FLOOR MOUNTED TELEPHONE RECEPTACLE FLUSH FLOOR MOUNTED TELE/DATA RECEPTACLE FLUSH FLOOR MOUNTED 1 TELE/2 DATA RECEPTACLE FLUSH FLOOR MOUNTED DATA RECEPTACLE FLUSH FLOOR MOUNTED DUPLEX FLUSH FLOOR MOUNTED FOURPLEX FLUSH FLOOR MOUNTED DEDICATED DUPLEX FLUSH FLOOR MOUNTED DEDICATED FOURPLEX FLUSH FLOOR MOUNTED SEPARATE DUPLEX FLUSH FLOOR MOUNTED SEPARATE FOURPLEX FLUSH FLOOR MOUNTED A/V RECEPTACLE FLUSH FLOOR MOUNTED TV RECEPTACLE POKE-THRU TEL. MONUMENT POKE-THRU TELE/DATA MONUMENT POKE-THRU DATA POWER MONUMENT POKE-THRU DUPLEX POWER MONUMENT POKE-THRU FOURPLEX POWER MONUMENT POKE-THRU DEDICATED DUPLEX POWER MONUMENT POKE-THRU DEDICATED FOURPLEX POWER MONUMENT POKE-THRU SEPARATE DUPLEX POWER MONUMENT POKE-THRU SEPARATE FOURPLEX POWER MONUMENT POKE-THRU A/V MONUMENT POKE-THRU TV MONUMENT FLUSH WALL MOUNTED POWER JUNCTION BOX WITH HARDWIRE CONNECTION FLOOR POKE-THRU JUNCTION BOX WITH HARDWIRE CONNECTION COMBINATION FLOOR POKE-THRU JUNCTION BOX WITH HARDWIRE CONNECTION CARD READER INTERCOM DEVICE DOOR RELEASE BUTTON ELECTROMAGNETIC DOOR HOLD OPEN ELECTRIC LOCKSET (SEE HARDWARE SCHEDULE) MAGNETIC LOCK (SEE HARDWARE SCHEDULE) SECURITY SYSTEM DOOR MONITOR CONTACT (SEE HARDWARE SCHEDULE) INTRUSION ALARM (SEE SECURITY DRAWINGS) KEY SWITCH (SEE SECURITY DRAWINGS) SECURITY MONITOR EQUIPMENT ITEM - SEE SCHEDULE POWER POLE </div>	ELEVATION INDICATIONS <div> STONE BRICK/CONCRETE BLOCK FINISHED WOOD GLASS PLASTER/ STUCCO </div> SECTION INDICATIONS <div> SAND OR GROUT EARTH OR NATURAL GROUND POROUS FILL (GRAVEL) STONE CONCRETE BRICK CONCRETE MASONRY UNIT METAL NON-FERROUS ALUMINUM PLYWOOD WOOD (FINISH) WOOD (CONTINUOUS) WOOD (BLOCKING) INTERRUPTED MEMBER INSULATION (LOOSE OR BATT) INSULATION (RIGID) GLASS (LARGE SCALE) GYPSUM BOARD PLASTER WITH LATH ACOUSTICAL TILE CARPET FABRIC WRAPPED PANEL </div>	REFLECTED CEILING <div> ACOUSTICAL CEILING AND GRID MAIN RUNNER GYPSUM BOARD SOFFIT 4' X 4' FLUORESCENT LIGHT FIXTURE 4' X 4' NIGHT LIGHT/24 HR. CIRCUIT EXISTING TO BE REMOVED 2' X 2' FLUORESCENT LIGHT FIXTURE 2' X 2' NIGHT LIGHT/24 HR. CIRCUIT UNDER CABINET FLUORESCENT FIXTURE FLUORESCENT STRIP FIXTURE FLUORESCENT PENDANT FIXTURE CEILING HEIGHT CHANGE DIMENSION OF CEILING ABOVE FINISH FLOOR CEILING FINISH CEILING MOUNTED EXIT SIGN, SHOWS QUANTITY OF FACE(S) AND DIRECTION OF ARROW(S) RECESSED DOWNLIGHT ADJUSTABLE DOWNLIGHT RECESSED WALL WASHER SURFACE MOUNTED LIGHT FIXTURE SITE LIGHT POLE FIXTURE EXTERIOR GROUND MOUNTED FIXTURE EXHAUST FAN SMOKE DETECTOR SPEAKER MOTION DETECTOR ACCESS DOOR SECURITY CAMERA THERMOSTAT LIGHT SWITCH DIMMER SWITCH PROJECTION SCREEN RETURN AIR SUPPLY AIR LINEAR DIFFUSER DENOTES EXISTING TO REMAIN DENOTES EXISTING, RELOCATED FIXTURE </div>	CONSTRUCTION <div> COLUMN GRID NEW PARTITION REFERENCE TO PARTITION TYPE 1 HR. RATED PARTITION 1 1/2 HR. RATED PARTITION 2 HR. RATED PARTITION 3 HR. RATED PARTITION 4 HR. RATED PARTITION SMOKE PARTITION EGRESS PATH PRIMARY EGRESS PATH SECONDARY ELEVATION DATUM POINT ROOM NAME ROOM NUMBER DOOR NUMBER (WITH SCHEDULE) "N" PREFIX DENOTES DOOR AT NON-DT OPTION ALIGN WITH ESTABLISHED SURFACES SHEET NOTE REVISION REFERENCE EXTERIOR ELEVATION INDICATION ROW ON ELEVATION SHEET WHERE SHOWN DIRECTION OF ELEVATION SHEET WHERE SHOWN INTERIOR ELEVATION INDICATION LOCATION ON ROW WHERE SHOWN DIRECTION OF ELEVATION ROW ON ELEVATION SHEET WHERE SHOWN SHEET WHERE SHOWN DETAIL NUMBER SHEET WHERE SHOWN DESCRIPTION OF SIMILAR OR OPPOSITE FLOOR LEVEL AND AREA OR PHASE AREA TO BE DETAILED MILLWORK MILLWORK SCHEDULE TAG (IF USED) FIRE EXTINGUISHER WITHOUT CABINET FIRE EXTINGUISHER CABINET FIRE VALVE WITHOUT CABINET FIRE VALVE CABINET </div>

Bank of America Exterior Remodel Mount Vernon, WA

320 W Kincaid Street
Mount Vernon, WA 98273

Magellan
ARCHITECTS
www.magellanarchitects.com

8383 158th Ave NE
Suite 280
Redmond, WA 98052
(425) 885-4300
(425) 885-4303

Issue	Date & Issue Description	By	Check
1	PERMIT SUBMITTAL	01/27/21	

2

Seal/Signature _____



Project Name
BANK OF AMERICA - EXTERIOR REMODEL MT. VERNON, WA

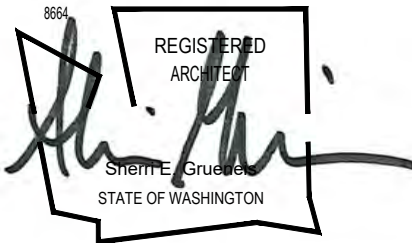
Project Number
CAD File Name
Description
20-116
20-116 A00-01
GRAPHIC SYMBOLS

Scale _____

A00.01

Bank of America Exterior Remodel Mount Vernon, WA

320 W Kincaid Street
Mount Vernon, WA 98273

[illegible]

Project Name
BANK OF AMERICA - EXTERIOR REMODEL MT. VERNON, WA

Project Number	
20-116	
CAD File Name	
20-116 A00-10	
Description	
GENERAL NOTES	

Scale _____

A00.10

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE AMERICAN WITH DISABILITIES ACT (A.D.A.) ALONG WITH ALL STATE, COUNTY, AND LOCAL APPLICABLE CODES, ORDERS, ORDINANCES AND REGULATIONS. NOTIFY ARCHITECT PRIOR TO START OF WORK OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CODE. ALL WORK SHALL CONFORM TO THE MOST RESTRICTIVE REQUIREMENT.
2. BEFORE COMMENCING WORK, CONTRACTOR SHALL BECOME FAMILIAR WITH DRAWINGS SCOPE OF WORK AND VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL SUBMIT TO BANK OF AMERICA PROJECT MANAGER AND ARCHITECT AN ITEMIZED COST BREAKDOWN OF ALL SCOPE ITEMS AND A CONSTRUCTION SCHEDULE. WORK TO BE SCHEDULED TO MEET BANK OF AMERICA REQUIREMENTS.
4. ALL WORK DESCRIBED OR INDICATED IN THESE DOCUMENTS AND ALL WORK DEPENDENT UPON OR NECESSARY TO COMPLETE THIS WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER CONSISTENT WITH THE BEST STANDARDS OF THE TRADE INVOLVED AND BE OF ITEMS AND MATERIALS SUITED FOR THE PURPOSE INTENDED.
5. TRADESMEN, CRAFTSMEN, INSTALLERS, FOREMEN, AND SUPERVISORS ARE TO BE SKILLED, EXPERIENCED AND LICENSED IF REQUIRED IN THE WORK THEY WILL BE PERFORMING.
6. PROJECT CONSTRUCTION ITEMS TO BE NEW, UNLESS OTHERWISE NOTED. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS COMPLETE DESCRIPTIONS OF ITEMS INCLUDING DRAWINGS, TEST DATA, SAMPLES, COST AND SCHEDULE CHANGES ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ANY ITEM NOTED ON THE DRAWINGS THAT ARE NOT AVAILABLE OR WOULD CAUSE A TIME DELAY SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND THE ARCHITECT NOTIFIED.
7. TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE U.N.O. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR EXACT MEANING, ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
8. DIMENSION LINES ARE TO FACE OF FINISH ON EXISTING AND NEW WORK, UNLESS NOTED AS FACE OF STUD OR MASONRY OR CENTERLINE OR OTHERWISE. DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE AND LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
9. PROVIDE SHOP DRAWINGS WHERE INDICATED AND FOR ALL METAL FABRICATION OR WHERE THEY ARE CALLED OUT FOR ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL SUBMIT FIVE (5) SETS TO THE ARCHITECT WITH AMPLE TIME TO REVIEW. REQUIRED CORRECTIONS WILL BE NOTED AND A COPY WILL BE RETURNED TO THE CONTRACTOR WHO SHALL REVISE DRAWINGS AND RESUBMIT FOR FINAL APPROVAL PRIOR TO FABRICATION.
10. CONTRACTOR TO SUBMIT SAMPLES OF ALL FINISH MATERIALS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
11. CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF AS-BUILT DRAWINGS NOTING DEVIATIONS BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS AND NEW CONSTRUCTION OF ALL TRADES AND DELIVER TO BANK OF AMERICA AT END OF PROJECT. GENERAL CONTRACTOR SHALL PROVIDE ALL SUBCONTRACTORS WITH THE MOST CURRENT CONSTRUCTION DOCUMENTS THROUGHOUT THE PROJECT, INCLUDING ALL REVISIONS.
12. CONTRACTOR TO NOTIFY ARCHITECT AND BANK OF AMERICA PROJECT MANAGER OF ALL REVISIONS TO THE DRAWINGS AND CHANGES WITH THE SCOPE OF WORK OR SCHEDULE REQUIRED BY GOVERNING AGENCIES, FIELD CONDITIONS OR BANK OF AMERICA PERSONNEL REGARDLESS OF EXTENT. ALL REVISIONS TO BE IN WRITING AS CHANGE ORDERS AND APPROVED PRIOR TO STARTING WORK.
13. CONTRACTOR TO PROVIDE EQUIPMENT TO ENSURE LIFE SAFETY OF PUBLIC, TENANTS AND WORKERS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT PEDESTRIANS.
14. CONTRACTOR TO VERIFY EXISTING STRUCTURAL CONDITIONS AND REQUIREMENTS OF NEW CONSTRUCTION PRIOR TO START OF WORK. CONTRACTOR SHALL FURNISH ADEQUATE SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK AND SHALL BE FULLY RESPONSIBLE FOR SAME, UNLESS SPECIFICALLY DETAILED IN THE DRAWINGS. CONTRACTOR SHALL PROVIDE BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORTS AS NECESSARY FOR ALL FIXTURES, EQUIPMENTS AND ALL OTHER ITEMS REQUIRING SAME.
15. SITE AND BUILDING SHALL BE MAINTAINED IN A CLEAN, SAFE MANNER, DIRTY NOISY OR VIBRANT WORK SHALL BE PERFORMED AT SUCH TIME AS DIRECTED PER THE OWNER AND/OR CITY WHEN THE WORK VARIOUS SECTIONS ARE COMPLETED, AND AT OTHER TIMES AS DIRECTED BY BANK OF AMERICA, OR OWNER, ALL TRASH DEBRIS, SURPLUS MATERIAL, TOOLS AND EQUIPMENT TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER. LEAVE PREMISES IN A CONDITION ACCEPTABLE TO BANK OF AMERICA, OR OWNER.
16. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE. WHERE EXISTING CONSTRUCTION, FINISHES OR EQUIPMENT IS DAMAGED BY WORK IN THIS CONTRACT, THEY SHALL BE PATCHED, REPAIRED OR REPLACED AS REQUIRED TO MATCH EXISTING, BY TRADE WHOSE WORK IS DAMAGED AT NO COST TO BANK OF AMERICA.
17. LAYOUT OF WORK:
 - A. LOCATION AND ELEVATION OF ALL WORK TO BE CONSTRUCTED ARE SHOWN ON DRAWINGS AND UNLESS DISCREPANCIES ARE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER LOCATION AND ELEVATIONS AS SHOWN AND INTENDED.
 - B. THE CONTRACTOR SHALL LAYOUT THE WORK AND SHALL ESTABLISH AND MAINTAIN NECESSARY MARKERS, AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF SAME. THE CONTRACTOR SHALL LAYOUT, AS A GUIDE TO ALL TRADES AND TO HIS SUBCONTRACTORS, THE EXACT LOCATIONS OF NEW OR REMODEL WORK WITH RESPECT TO CHANGES TO EXISTING.
18. INSTALL AND APPLY ITEMS, MATERIALS, EQUIPMENT, FINISHES, ETC. INCLUDING THE PREPARATION OF SURFACES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED RECOMMENDATIONS AND INSTALLATION REQUIREMENTS.
19. PERTAINING TO EQUIPMENT: GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND RELOCATION OF ANY EXISTING EQUIPMENT OR CONSTRUCTION AS NECESSARY FOR A COMPLETE INSTALLATION.
20. ACCESS PANELS SHALL BE PROVIDED FOR ALL EQUIPMENT SWITCHES, VALVES AND OTHER CONTROL DEVICES THAT ARE CONCEALED. EXACT LOCATIONS TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
21. BESIDES GUARANTEES REQUIRED ELSEWHERE, THE CONTRACTOR SHALL, HEREBY DOES, GUARANTEE ALL WORK FOR A MINIMUM PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE OF WORK WITH ANY OTHER WORK, WHICH MAY BE DISPLACED IN SO DOING, THAT MAY PROVE DEFECTIVE IN WORKMANSHIP AND/OR MATERIALS WITHIN A MINIMUM OF ONE YEAR PERIOD FROM THE DATE OF ACCEPTANCE WITHOUT EXPENSE TO BANK OF AMERICA.
22. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
23. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
24. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION
25. COORDINATE TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS.
26. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
27. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
28. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
29. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, UNLESS OTHERWISE NOTED.
30. CONCEALED INSULATING MATERIALS INSTALLED WITHIN WALL SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
31. INSULATING MATERIALS WHICH ARE SUBJECT TO DIRECT EXPOSURE TO POTENTIAL FIRE ON THE INSIDE OF THE BUILDING DUE TO INSTALLATION IN UNCONCEALED SPACES SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
32. MATERIALS EXPOSED WITHIN PLENUMS ARE REQUIRED TO BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 AS DETERMINED IN ACCORDANCE WITH ASTM E 84.

FIRE DEPARTMENT NOTES

- PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES.
2. MAINTAIN AISLES AT LEAST 44" WIDE AT PUBLIC AREAS.
 3. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
 4. DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
 5. 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
 6. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
 7. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDOR SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING:
 - A. CLASS I, FLAME SPREAD 0-25, SMOKE DENSITY 150, FOR MATERIALS INSTALLED IN VERTICAL EXITS.
 - B. CLASS II, FLAME SPREAD 26-75, SMOKE DENSITY 300, FOR MATERIALS INSTALLED IN EXIT ACCESS COMPONENTS THAT ARE HORIZONTAL IN THEIR ORIENTATION TO THE BUILDING STRUCTURE SUCH AS A CORRIDOR OR PASSAGEWAY.
 8. CLASS III, FLAME SPREAD 76-200, SMOKE DENSITY 450, FOR MATERIALS INSTALLED IN ANY OTHER LOCATION.
 9. PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALLS OR CEILINGS.
 10. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
 11. HEARING IMPAIRED. FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE AND SHALL BE SYNCHRONIZED.
 12. LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES 48" ABOVE THE LEVEL OF THE FINISHED FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK.
 13. CONTRACTOR SHALL PERMANENTLY IDENTIFY ALL PROTECTED OPENINGS, CORRIDOR PARTITIONS, SMOKE STOP PARTITIONS, HORIZONTAL EXIT PARTITIONS, EXIT ENCLOSURES AND ALL FIRE RATED WALLS WITH CORRESPONDING HOURLY RATING BY EITHER INSTALLING SIGNS OR BY STENCILING IN CONCEALED SPACES THE FOLLOWING: "1 HOUR FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS". NOTE: IDENTIFICATION SHALL BE SPACED NO MORE THAN TWELVE (12) FEET ON CENTER WITH A MINIMUM LETTER SIZE OF THREE (3) INCHES IN HEIGHT AND A MINIMUM STROKE OF 3/8" ON A CONTRASTING BACKGROUND.
 14. DEVICE COVERS TO BE TO MATCH LUTRON LIGHT ALMOND UNLESS DICTATED OTHERWISE BY LOCAL JURISDICTIONS.

SPECIFICATIONS

REINFORCING STEEL:

1. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 40 FOR SIZES #3 AND #4 AND GRADE 60 FOR SIZES #5 AND LARGER.
2. WELDED WIRE FABRIC (MESH) SHALL CONFORM TO THE LATEST REVISED ASTM A185. SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM A85. YIELD STRENGTH 60 KSI.
3. WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS D12-1 USING PROPER LOW HYDROGEN ELECTRODES. ALL BARS TO BE WELDED SHALL CONFORM TO ASTM A706.
4. ALL BARS IN MASONRY SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS (2'-0" MIN.) AT ALL SPLICES UNLESS NOTED OTHERWISE.
5. ALL BARS IN CONCRETE SHALL BE LAPPED A MINIMUM OF 36 BAR DIAMETERS (2'-0" MIN.) AT ALL SPLICES UNLESS NOTED OTHERWISE.
6. SPLICES OF HORIZONTAL REBAR IN WALLS AND FOOTINGS SHALL BE STAGGERED 4'-0" MINIMUM.
7. DOWELS FOR WALLS AND COLUMNS SHALL BE THE SAME SIZE AND SPACING AS THE WALL/ COLUMN REINFORCING UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL:

1. ALL FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION.
2. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS. ALL FIELD WELDING SHALL HAVE CONTINUOUS INSPECTION BY A REGISTERED DEPUTY INSPECTOR.
3. WIDE FLANGE SECTIONS SHALL CONFORM TO ASTM A576, GRADE 50. ALL PIPE SHALL CONFORM TO ASTM A53 GRADE "B" (35 KSI). ALL TUBE SHALL CONFORM TO ASTM A500 (46KSI). ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A56.
4. ANCHOR BOLTS AND UNFINISHED BOLTS SHALL CONFORM TO ASTM A56.
5. ALL WELDING ELECTRODES SHALL CONFORM TO AWS E70XX.

CONCRETE:

1. UNLESS OTHERWISE, ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
2. AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C33.
3. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150. TYPE I OR II, LOW ALKALI, OR AS REQUIRED TO SATISFY SITE SOIL CONDITIONS AS DETERMINED BY THE PROJECT SOILS ENGINEER.
4. WATER SHALL BE POTABLE, CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OIL, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS OR OTHER SUBSTANCES THAT MAY BE DELETERIOUS TO CONCRETE OR REINFORCEMENT.
5. ADMIXTURES TO BE USED IN CONCRETE SHALL BE SUBJECT TO PRIOR APPROVAL BY THE ENGINEER.
6. MAXIMUM PERMISSIBLE WATER-CEMENT RATIOS FOR CONCRETE WHEN STRENGTH DATA FROM TRIAL BATCHES ARE NOT AVAILABLE SHALL CONFORM TO TABLE 4.5 OF THE ACI STANDARD 318-77 OR BASED ON SULFATE CONTENT OF THE SITE SOILS. AS DETERMINED BY THE SOILS ENGINEER. THE LOWER WATER-CEMENT RATIO SHALL GOVERN.
7. CONCRETE SHALL BE CURED WHILE IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT. METHODS FOR ACCELERATED CURING SHALL HAVE PRIOR APPROVAL OF THE ENGINEER.
8. THE FOLLOWING MINIMUM CLEAR DISTANCE BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE.

SLABS ON GRADE.....CENTER OF SLAB
CONCRETE BELOW GRADE, FORMED.....2"
CONCRETE BELOW GRADE, UNFORMED.....3"
(POURED AGAINST EARTH)
CONCRETE EXPOSED TO WEATHER.....1 1/2 "

Bank of America Exterior Remodel Mount Vernon, WA

320 W Kincaid Street
Mount Vernon, WA 98273

Magellan ARCHITECTS
www.magellanarchitects.com

8383 158th Ave NE
Suite 280
Redmond, WA 98052
(425) 885-4300
(425) 885-4303

KEY NOTES

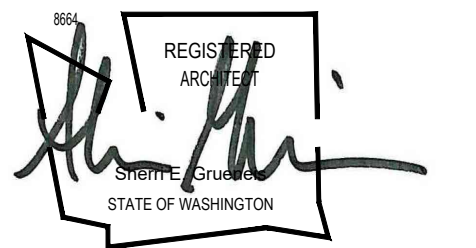
- 1 REMOVE EXISTING GLASS CANOPY .
- 2 EXISTING ATM TO REMAIN.
- 3 TYPICAL AT BUILDING EXTERIOR - DEMOLISH EXISTING EXTERIOR PANELS AND WOOD TRIM FROM GROUND LEVEL TO TOP OF PARAPET.

SHEET NOTES

SHADED AREAS DEFINES
EXTENT OF WORK

Issue	Date & Issue Description	By	Check
PERMIT SUBMITTAL	01/27/21		

Seal/Signature



Project Name
BANK OF AMERICA - EXTERIOR REMODEL MT. VERNON, WA

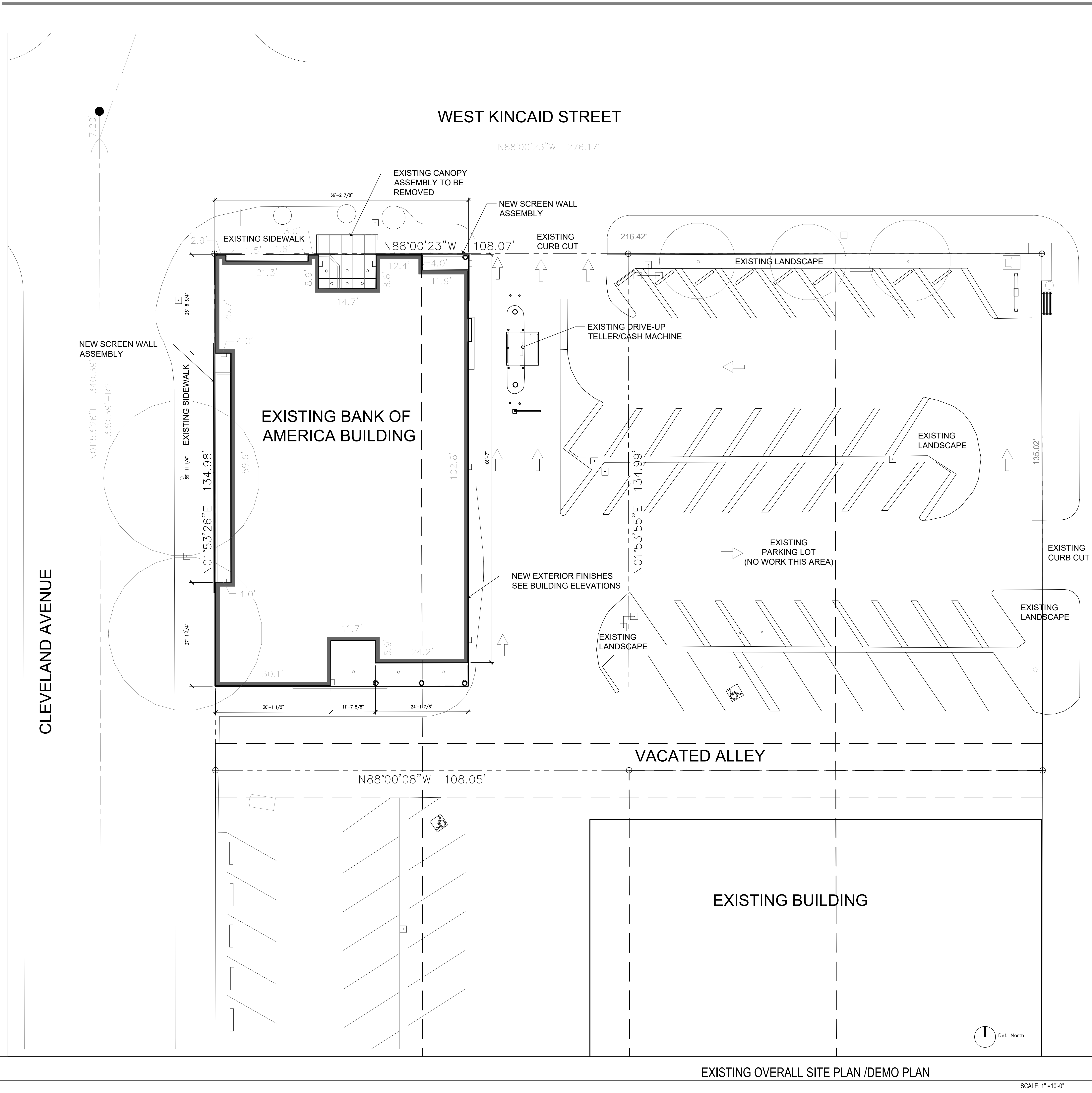
Project Number
20-116

CAD File Name
20-116 A00-50

Description
EXISTING OVERALL SITE PLAN/ DEMO PLAN

Scale
AS NOTED

**SITE PLAN
A00.50**



320 W Kincaid Street
Mount Vernon, WA 98273

Magellan
ARCHITECTS
www.magellanarchitects.com

8383 158th Ave NE
Suite 280
Redmond, WA 98052
(425) 885-4300
(425) 885-4303

	Issue	Date & Issue Description	By	Check
	PERMIT SUBMITTAL	01/27/21		

KEY NOTES

- ① TYPICAL ALL THE WAY AROUND BUILDING EXTERIOR - REPLACE WITH NEW FINISHES FROM GROUND LEVEL TO TOP OF PARAPET PER ELEVATIONS ON SHEETS A09.01 & A09.02

SHEET NOTES

SHADED AREAS DEFINE AREAS OF
REQUIRED WORK.

Project Name
BANK OF AMERICA - EXTERIOR REMODEL MT. VERNON, WA

Project Number

20-116

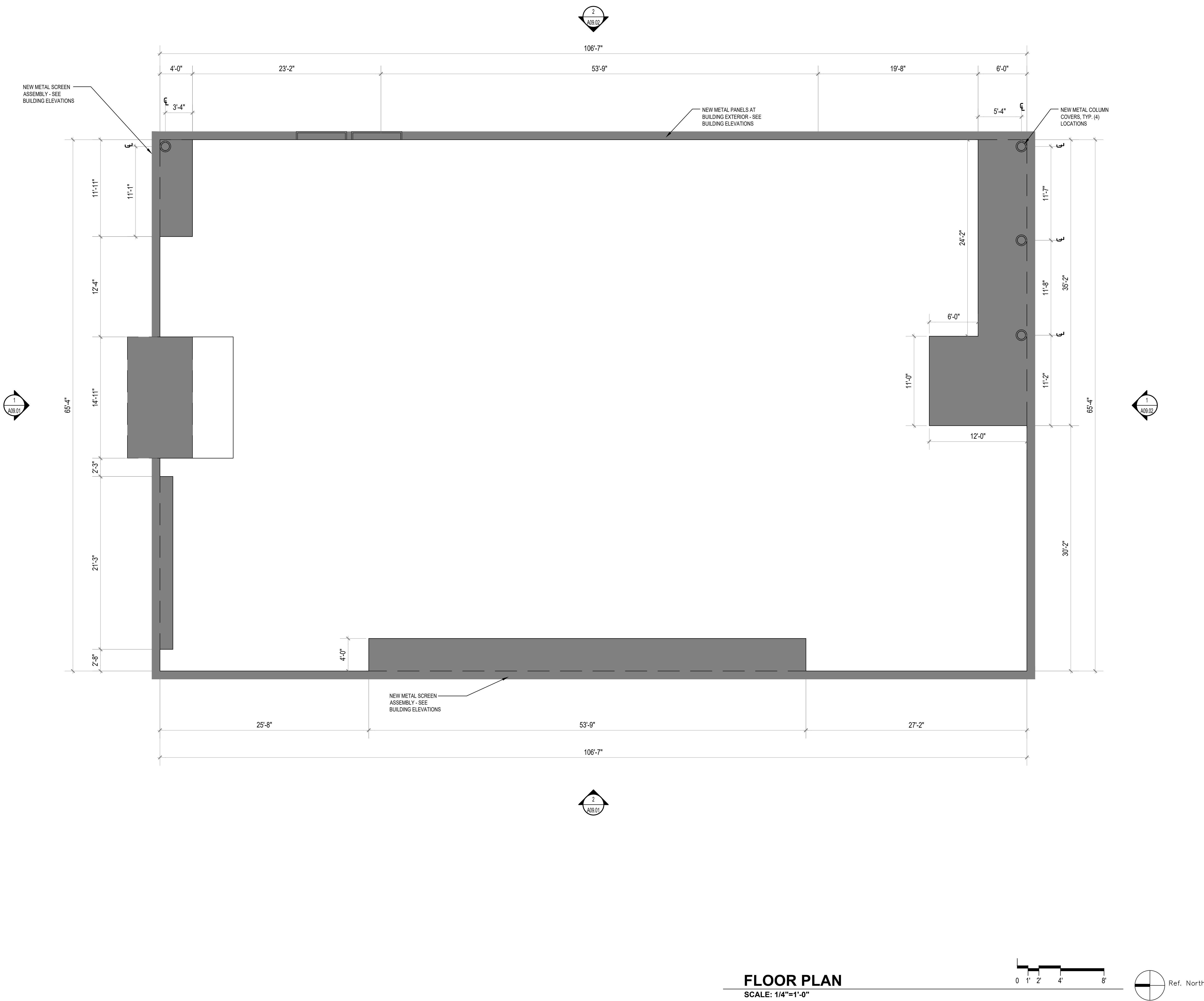
CAD File Name

20-116 A02.01

FLOOR PLAN

Scale

A02.01

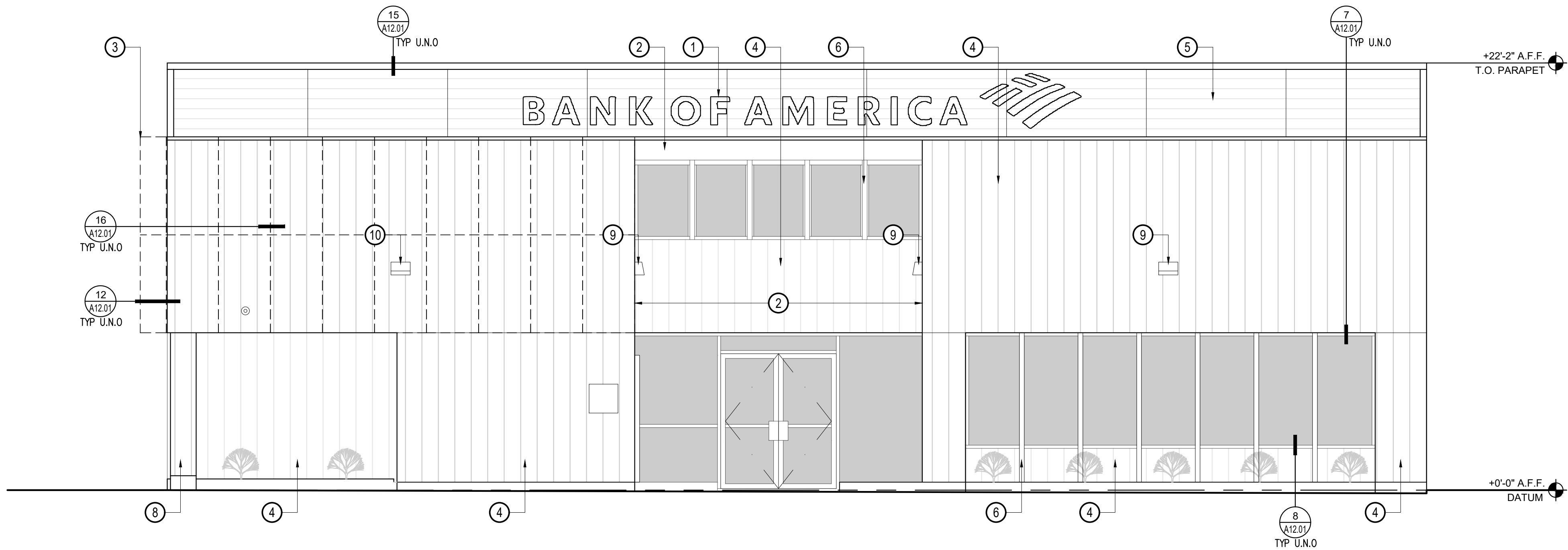
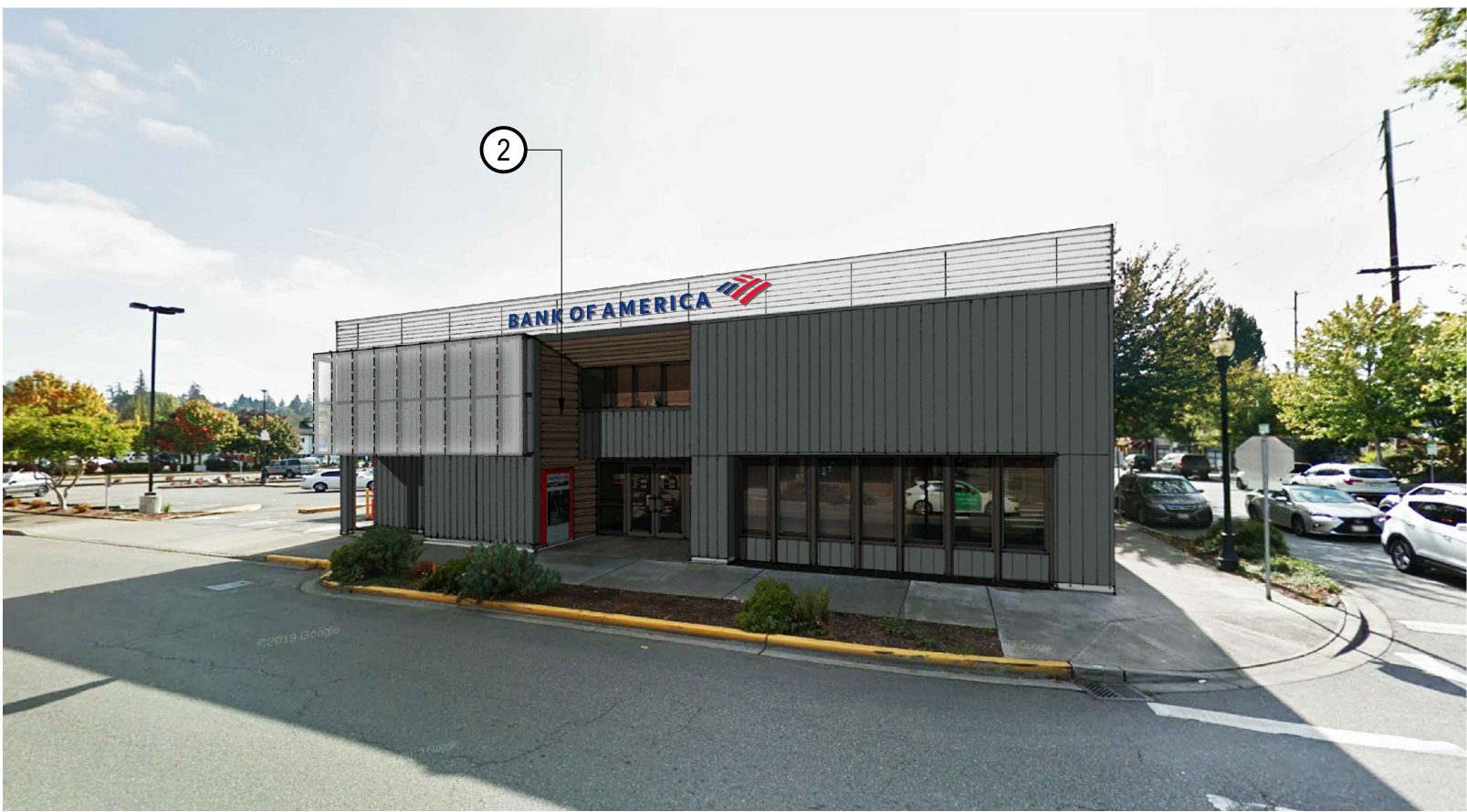


Bank of America Exterior Remodel Mount Vernon, WA

320 W Kincaid Street
Mount Vernon, WA 98273

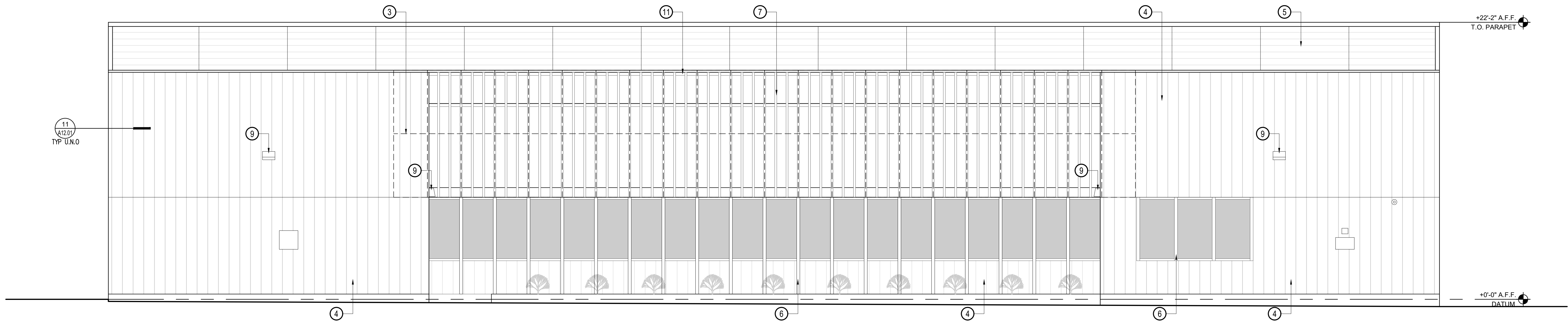
Magellan
ARCHITECTS
www.magellanarchitects.com

8383 158th Ave NE
Suite 280
Redmond, WA 98052
(425) 885-4300
(425) 885-4303



01 NORTH ELEVATION
1/4" = 1'-0"

A PERSPECTIVE
1/4" = 1'-0"



02 WEST ELEVATION
1/4" = 1'-0"

KEY NOTES

- 1 NEW BANK OF AMERICA SIGNAGE BY OWNER
- 2 METAL PANEL (EPS-5, PURE + FREEFORM, ROMA NOCE #SNO43, SATIN) (INCLUDES SIDES OF ALCOVE WHERE APPLICABLE - SEE PERSPECTIVE A)
- 3 METAL SCREEN WITH STRUCTURED FRAME AND LED BACKLIT (GORDON WINLOK OR APPROVED SIMILAR)
- 4 METAL PANEL (EPS-2, CITADEL ANCHOR GREY AC9317, SATIN)
- 5 METAL PANEL (EPS-3, CITADEL ARCTIC WHITE, SATIN)
- 6 REPLACE EXISTING WOOD CAP WITH METAL CAP
- 7 EXISTING VERTICAL WOOD SCREEN PAINTED TO MATCH EPS-2
- 8 WRAP EXISTING COLUMNS WITH METAL (EPS-2, CITADEL ANCHOR GREY AC9317, SATIN)
- 9 REPLACE EXISTING LIGHTING FIXTURES WITH TYPE LE WALL PACK LUMINAIRE ALTERNATE WST LED. SEE 13/A12.01 (GC TO VERIFY)
- 10 REPLACE EXISTING LIGHTING FIXTURES WITH TYPE LE WALL PACK LUMINAIRE SEC-EDG-2M/2MB-WM. SEE 9/A12.01 (GC TO VERIFY LOCATIONS INSIDE ALCOVES)
- 11 ALTERNATE LIGHTING - PROVIDE DOWN LIGHTING IN SOFFIT OF THE ALCOVE EVERY THIRD METAL SCREEN (START WITH FIRST SCREEN MASKING THE ALCOVE)

SHEET NOTES

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA IS (XXX) TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE IS BANK OF AMERICA (XXX) TYPE LETTERSET.
- D. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FLASHING DETAILS

NOTES TO A / E

1. PRIOR TO ISSUANCE OF DOCUMENT, DETERMINE PROTOTYPE OPTIONS. IE. DRIVE-THRU, NON-DRIVE-THRU, NON-DRIVE-THRU WITH THRU-WALL ATM AND N.D. (OPTIONS A09.11, A09.11 ALT RESPECTIVELY) INCORPORATE OR ELIMINATE ALT SHEETS AS APPROPRIATE.
2. PRIOR TO ISSUANCE OF DOCUMENT, A/E TO "TURN-OFF" LAYER A-ANNO-AE-NOTE NOTES TO A/E.
3. REPLACE WALL MOUNTED LIGHT FIXTURES AS NOTED.

Seal/Signature

REGISTERED
ARCHITECT
CLARENCE B. MAGELLAN

Project Name
BANK OF AMERICA - EXTERIOR REMODEL MT. VERNON, WA

Project Number
20-116

CAD File Name
20-116 A09.01

Description
EXTERIOR ELEVATIONS

Scale 1/4" = 1'-0"

0 1' 2' 4' 8'

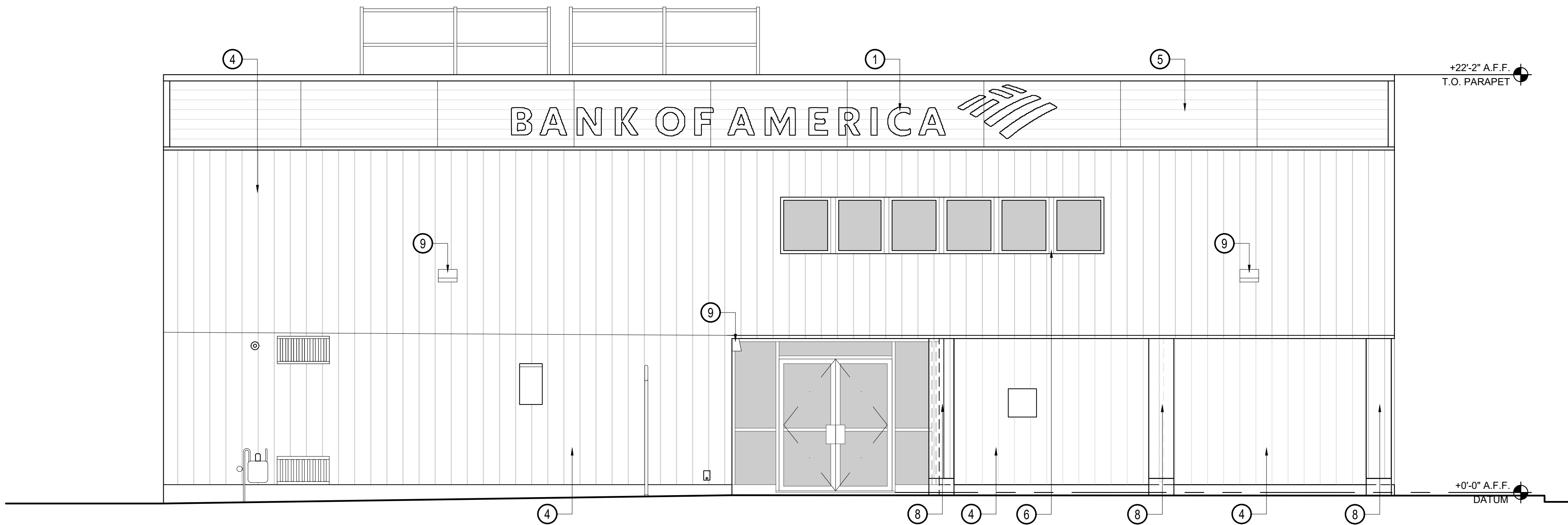
A09.01

Bank of America Exterior Remodel Mount Vernon, WA

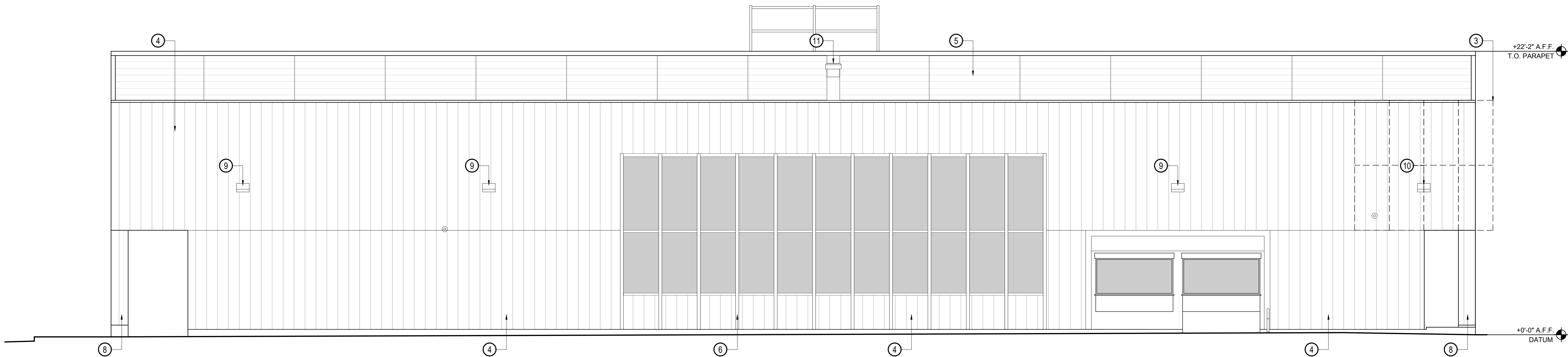
320 W Kincaid Street
Mount Vernon, WA 98273

Magellan
ARCHITECTS
www.magellanarchitects.com

8383 158th Ave NE
Suite 280
Redmond, WA 98052
(425) 885-4300
(425) 885-4303



01 SOUTH ELEVATION
1/4" = 1'-0"



02 EAST ELEVATION
1/4" = 1'-0"

KEY NOTES

- 1 NEW BANK OF AMERICA SIGNAGE BY OWNER
- 2 METAL PANEL (EPS-5, PURE + FREEFORM, ROMA NOCE #SNO43, SATIN) (INCLUDES SIDES OF ALCOVE WHERE APPLICABLE)
- 3 METAL SCREEN WITH STRUCTURED FRAME AND LED BACKLIT (GORDON WINLOK OR APPROVED SIMILAR)
- 4 METAL PANEL (EPS-2, CITADEL ANCHOR GREY AC9317, SATIN)
- 5 METAL PANEL (EPS-3, CITADEL ARCTIC WHITE, SATIN)
- 6 REPLACE EXISTING WOOD CAP WITH METAL CAP
- 7 EXISTING VERTICAL WOOD SCREEN PAINTED TO MATCH EPS-2
- 8 WRAP EXISTING COLUMNS WITH METAL (EPS-2, CITADEL ANCHOR GREY AC9317, SATIN)
- 9 REPLACE EXISTING LIGHTING FIXTURES WITH TYPE LE WALL PACK LUMINAIRE ALTERNATE WST LED. SEE 13/A12.01 (GC TO VERIFY)
- 10 REPLACE EXISTING LIGHTING FIXTURES WITH TYPE LE WALL PACK LUMINAIRE SEC-EDG-2M/2MB-WM. SEE 9/A12.01 (GC TO VERIFY LOCATIONS INSIDE ALCOVES)
- 11 REMOVE AND REUSE EXISTING LIGHTING FIXTURES. REPOSITION TYPE OB FLOOD LUMINAIRE OSQ SERIES. SEE 14/A12.01 (GC TO VERIFY)

SHEET NOTES

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA IS (XXX) TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE IS BANK OF AMERICA (XXX) TYPE LETTERSET.
- D. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FLASHING DETAILS

NOTES TO A/E

1. PRIOR TO ISSUANCE OF DOCUMENT, DETERMINE PROTOTYPE OPTIONS. IE. DRIVE-THRU, NON-DRIVE-THRU, NON-DRIVE-THRU WITH THRU-WALL ATM AND N.D. (OPTIONS A09.11, A09.11 ALT RESPECTIVELY) INCORPORATE OR ELIMINATE ALT SHEETS AS APPROPRIATE.
2. PRIOR TO ISSUANCE OF DOCUMENT, A/E TO "TURN-OFF" LAYER A-ANNO-AE-NOTE NOTES TO A/E.
3. REPLACE WALL MOUNTED LIGHT FIXTURES AS NOTED.

Seal/Signature

REGISTERED
ARCHITECT
STATE OF WASHINGTON

Project Name
BANK OF AMERICA - EXTERIOR REMODEL MT. VERNON, WA

Project Number

20-116

CAD File Name

20-116 A09.02

Description

EXTERIOR ELEVATIONS

Scale 1/4" = 1'-0"

0 1' 2' 4' 8'

A09.02



WST LED
Architectural Wall Sconce

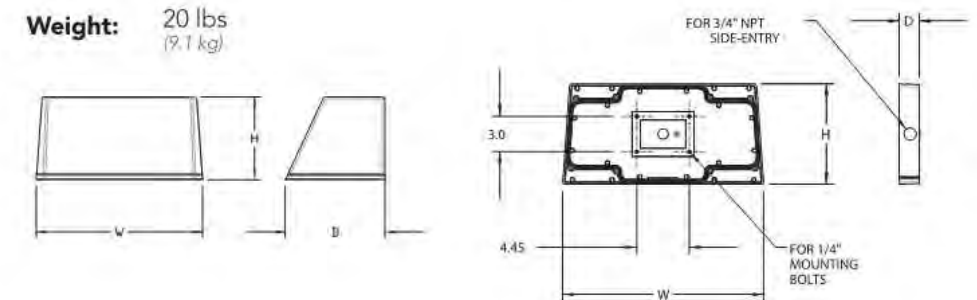


Specifications
Luminaire

Height: 8-1/2"
(21.59 cm)
Width: 17"
(43.18 cm)
Depth: 10-3/16"
(26.9 cm)
Weight: 20 lbs
(9.1 kg)

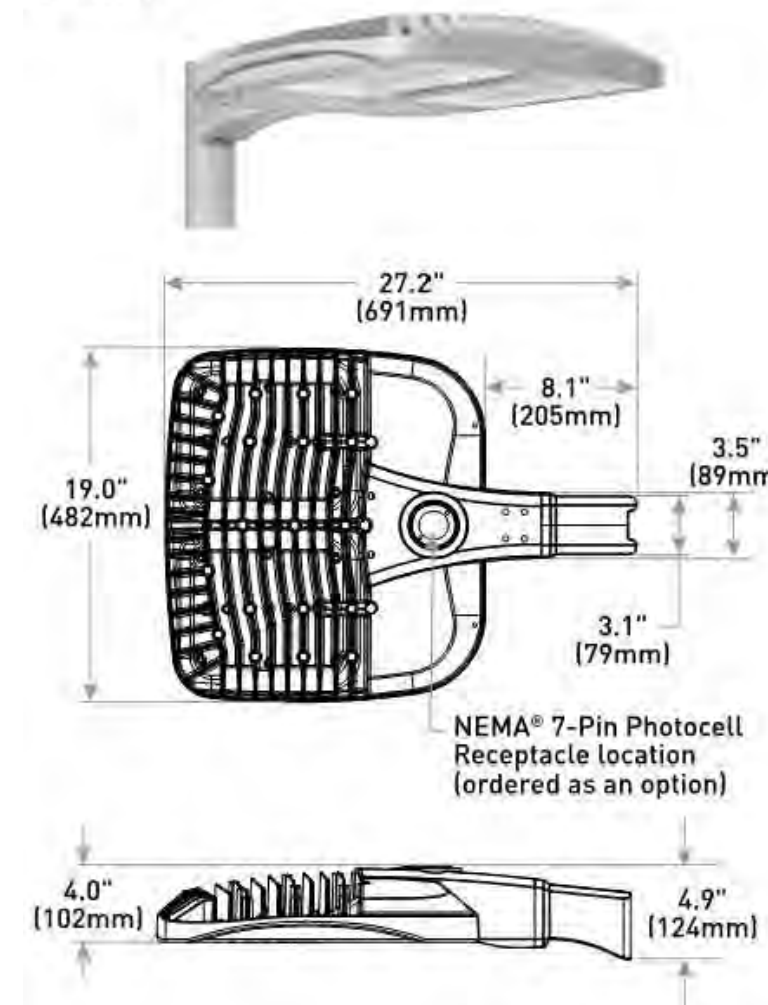
Optional Back Box (BBW)

Height: 4"
(10.2 cm)
Width: 5-1/2"
(14.0 cm)
Depth: 1-1/2"
(3.8 cm)

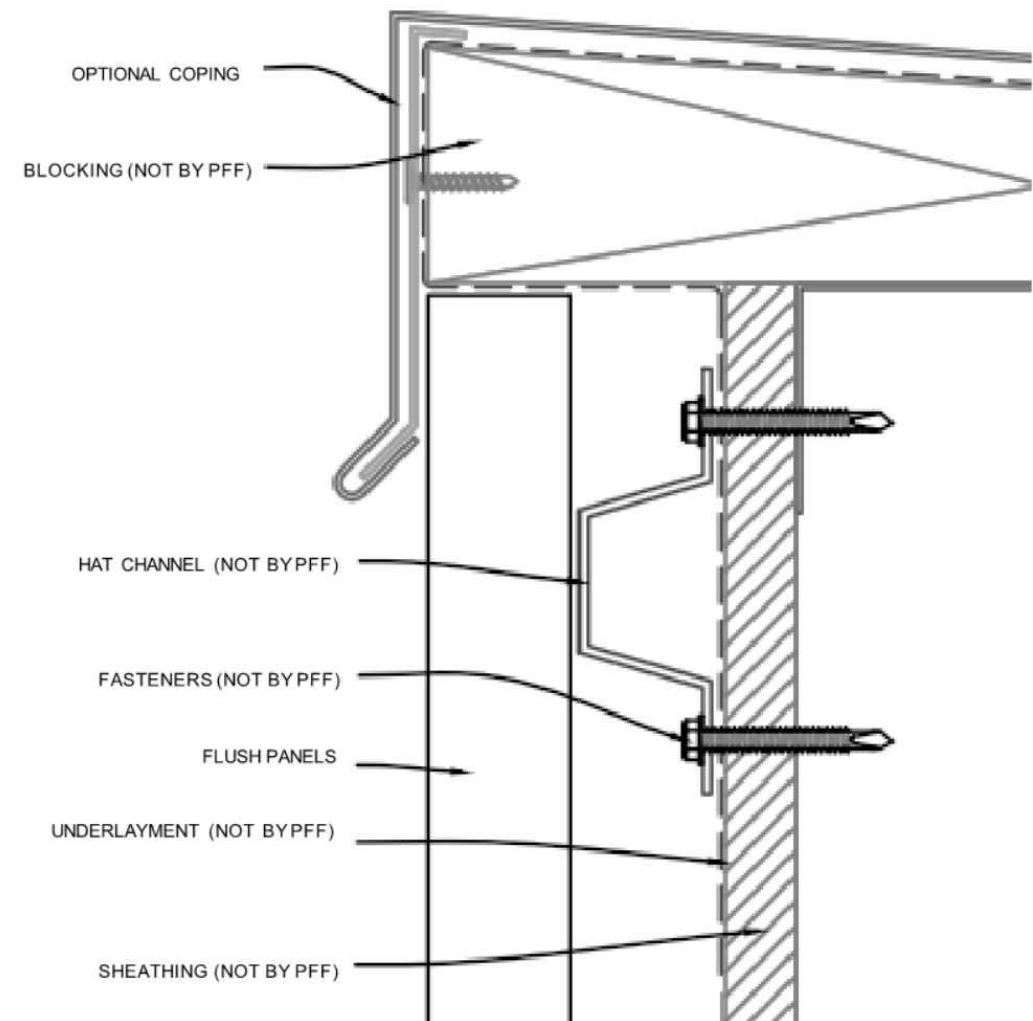


TYPE LE - WALL PACK ALTERNATE 13
SCALE: N.T.S.

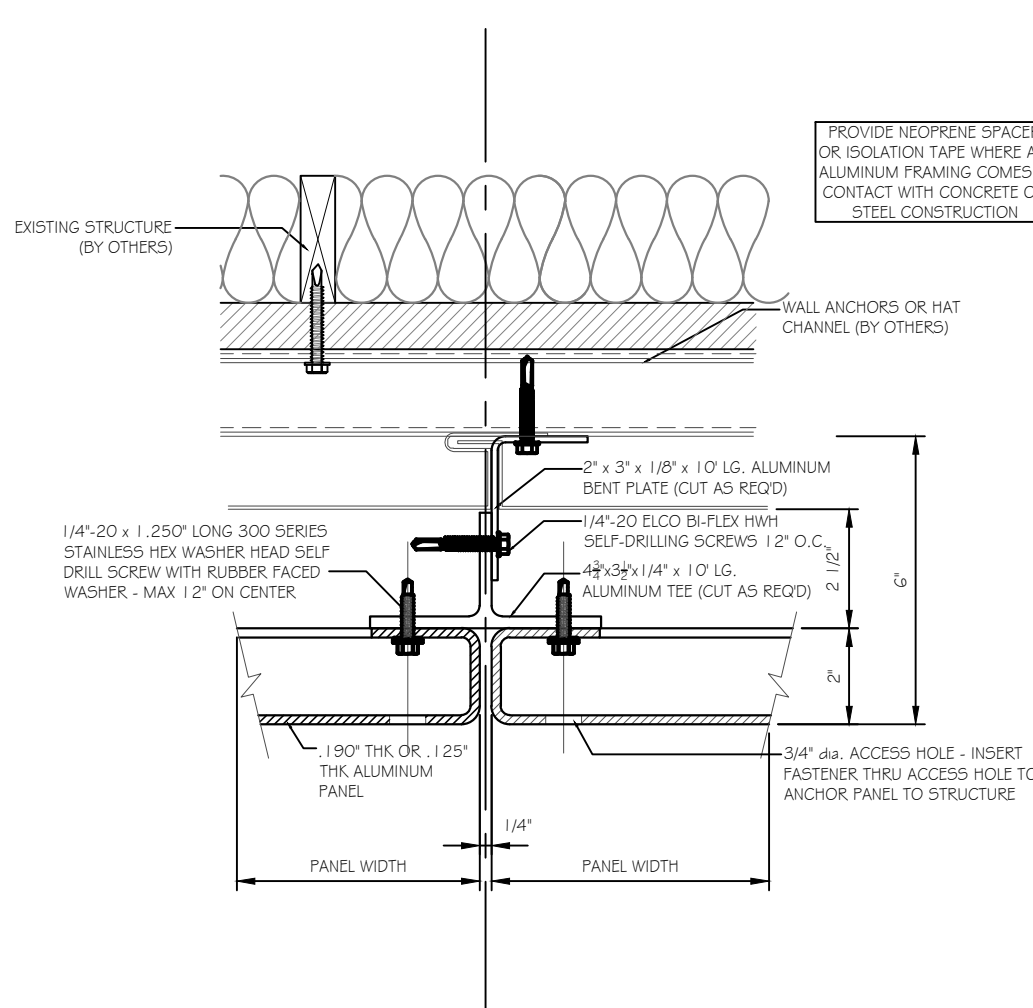
DA Mount



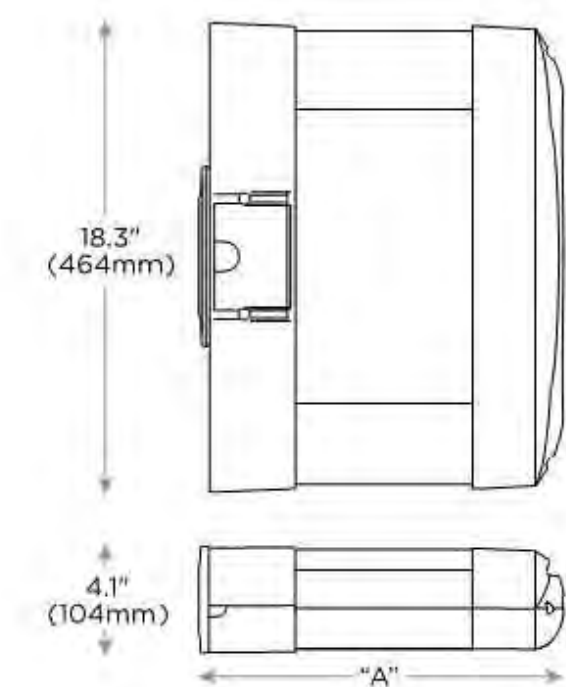
FLOOD LUMINAIRE 14
SCALE: N.T.S.



VERTICAL WALL SECTION 15
SCALE: N.T.S.

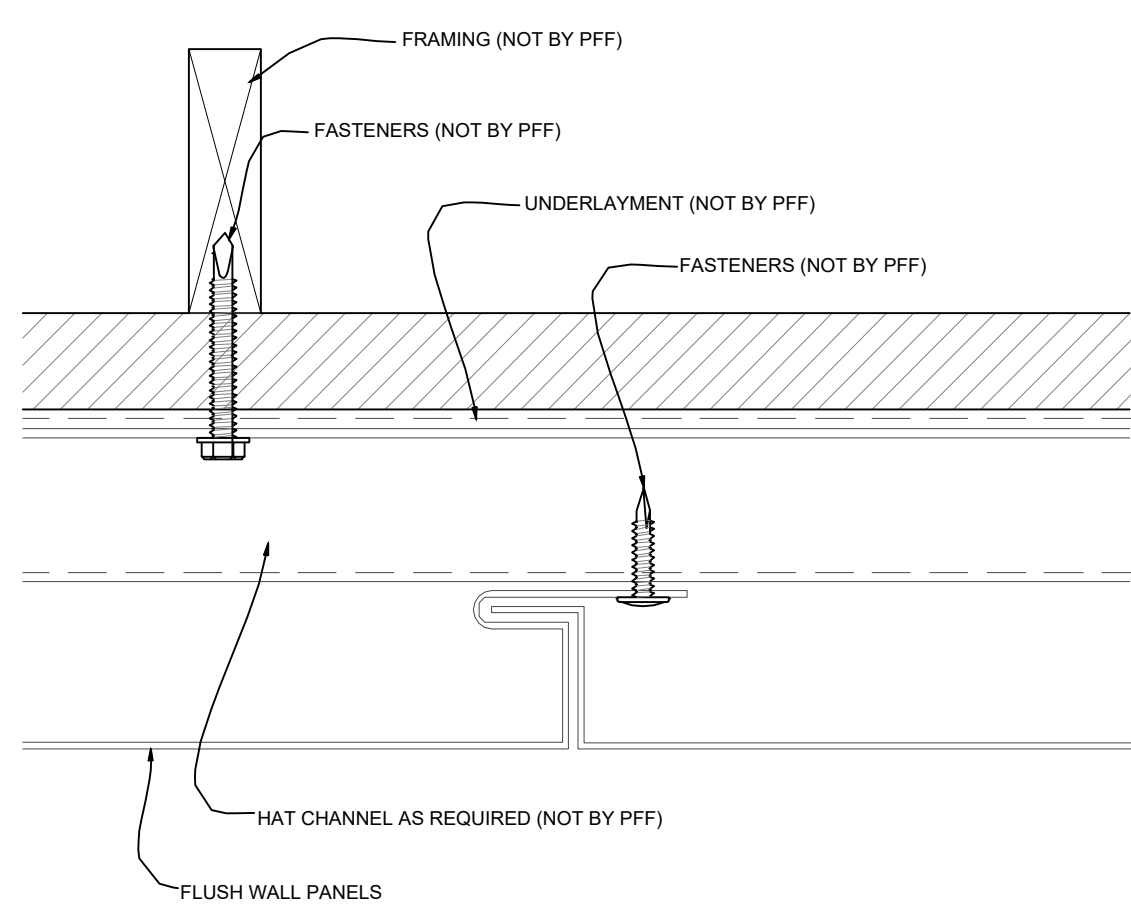


SCREEN WALL CONNECTION DTL 16
SCALE: 3' = 1'-0"

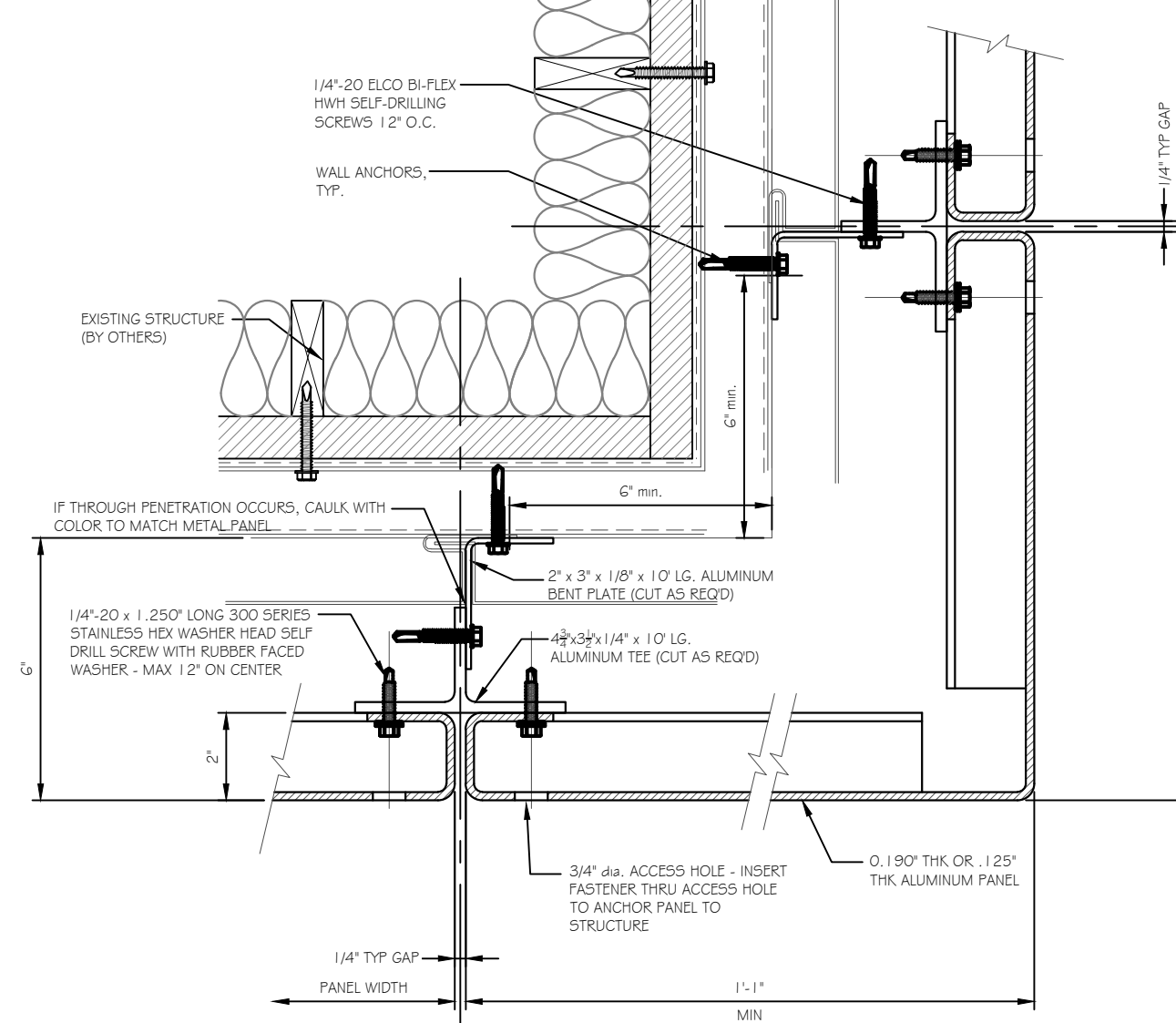


TYPE LE - WALL PACK 9
SCALE: N.T.S.

NOT USED 10
SCALE: XX



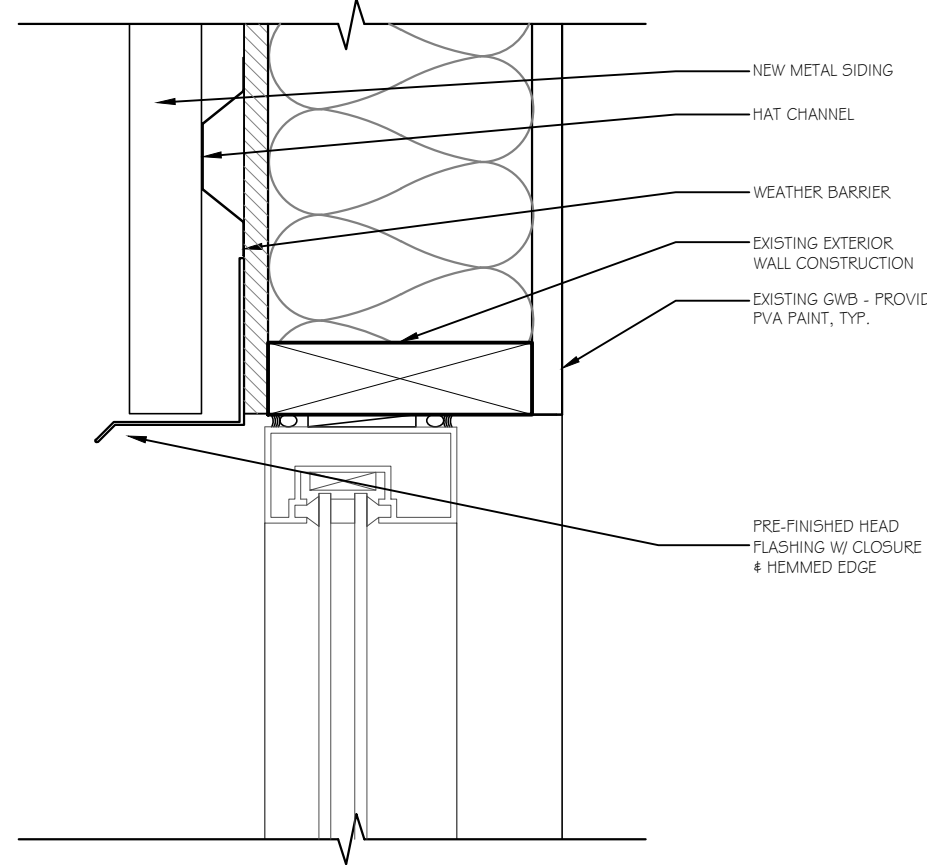
HORIZONTAL WALL SECTION 11
SCALE: N.T.S.



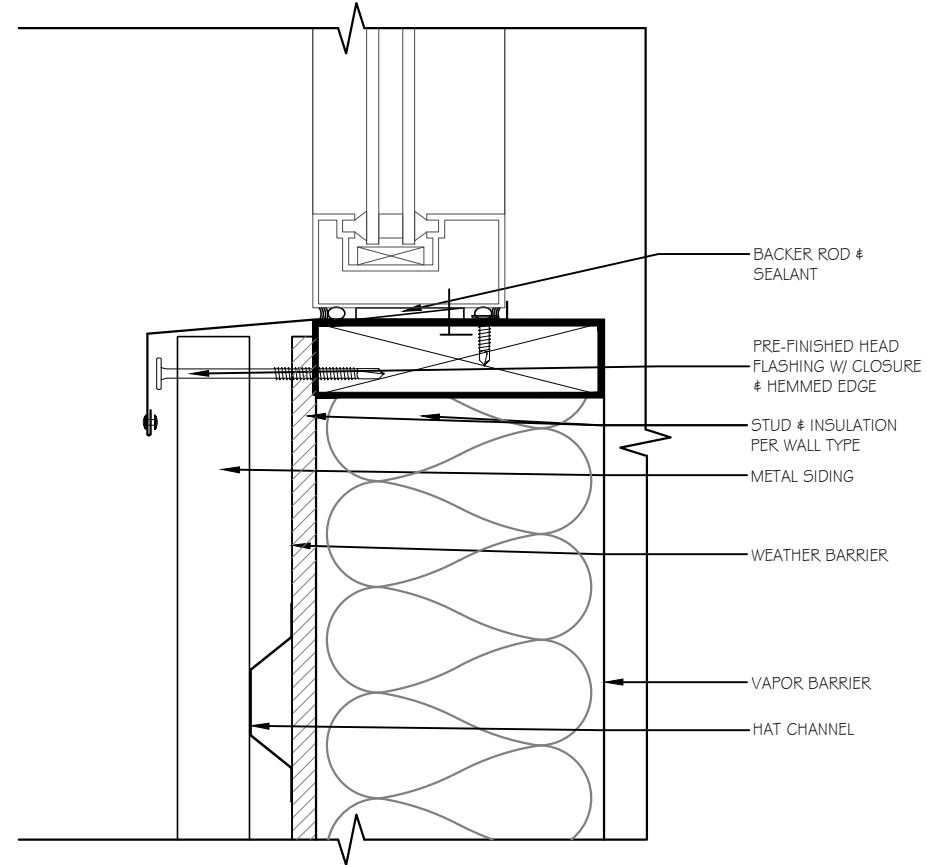
SCREEN WALL CORNER DTL 12
SCALE: 3' = 1'-0"

NOT USED 5
SCALE: XX

NOT USED 6
SCALE: XX



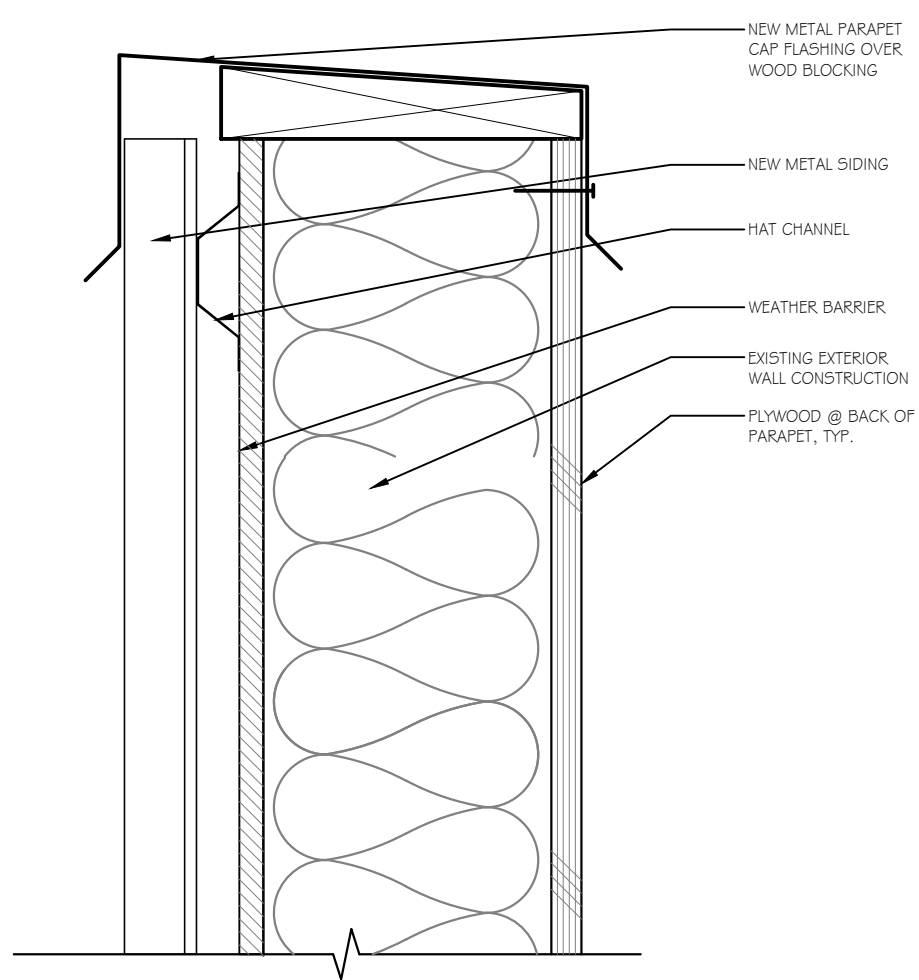
ALUM.HEAD @ RECESSED WINDOW 7
SCALE: 3' = 1'-0"



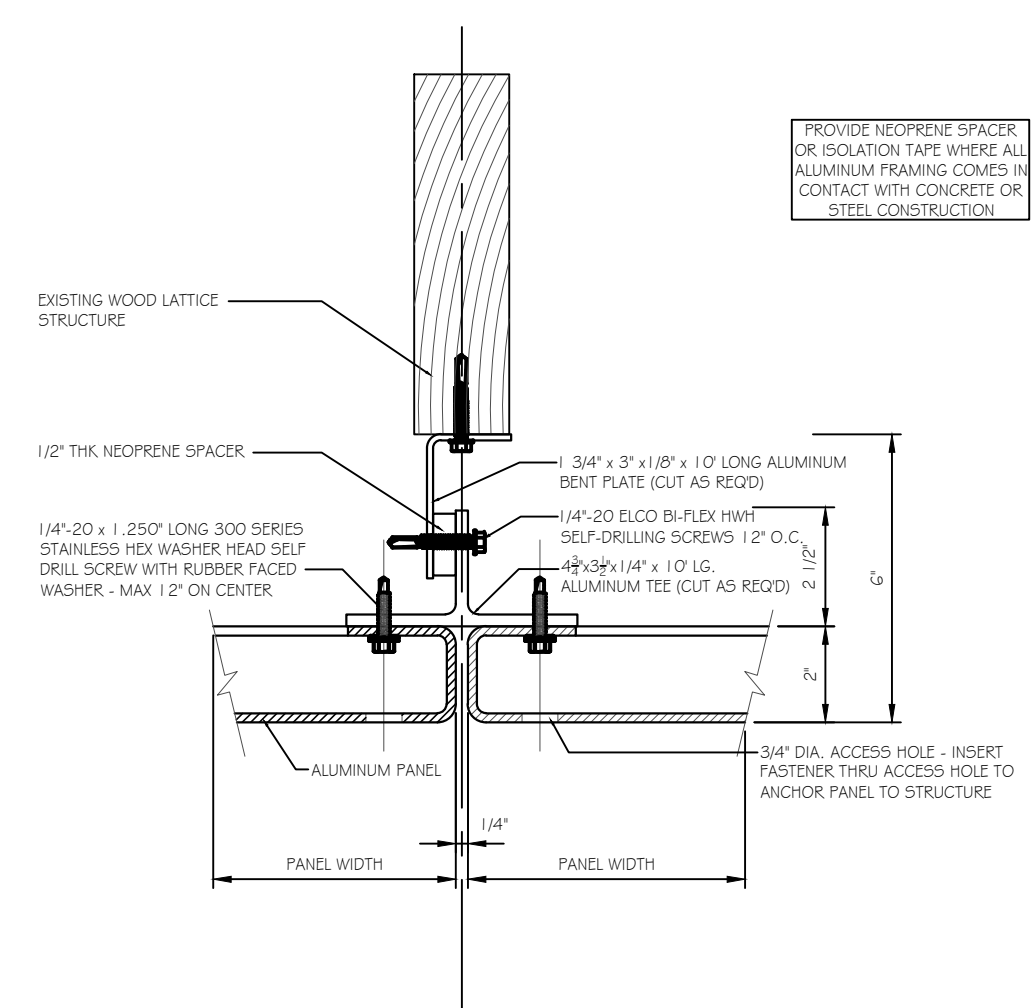
ALUM.SILL @ RECESSED WINDOW 8
SCALE: 3' = 1'-0"

NOT USED 1
SCALE: XX

NOT USED 2
SCALE: XX



CAP FLASHING @ PARAPET WALL 3
SCALE: 3' = 1'-0"



SCREEN WALL CONNECTION DTL 4
SCALE: 3' = 1'-0"

KEY NOTES

Bank of America
Exterior Remodel
Mount Vernon, WA

320 W Kincaid Street
Mount Vernon, WA 98273

Magellan ARCHITECTS
www.magellanarchitects.com
8383 158th Ave NE
Suite 280
Redmond, WA 98052
(425) 885-4300
(425) 885-4303

Issue	Date & Issue Description	By	Check
1	PERMIT SUBMITTAL	01/27/21	
2			

Seal/Signature

REGISTERED
ARCHITECT
STATE OF WASHINGTON

Project Name
BANK OF AMERICA - EXTERIOR REMODEL MT. VERNON, WA

Project Number

20-116

CAD File Name

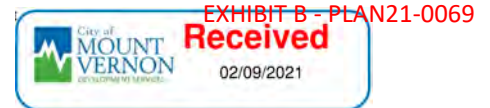
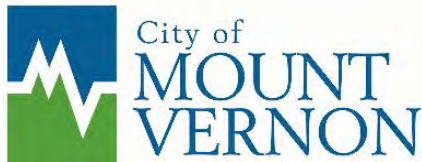
20-116 A12-01

Description
DETAILS

Scale

AS NOTED

A12.01



DEVELOPMENT SERVICES DEPARTMENT
910 Cleveland Ave, Mount Vernon, WA 98273
360-336-6214 | PermitTech@mountvernonwa.gov

DESIGN STANDARDS PERMIT REQUIREMENTS

GENERAL INFORMATION

The City's Design Review requirements are codified in Mount Vernon Municipal Code (MVMC) Chapter 17.70. Design review is required for all of the following types of projects:

- All duplex and multi-family structures regardless of what zoning designation they are constructed within
- Subdivisions that are PUDs, utilize TDRs, or where the average lot size 7,600 square feet or less
- Most new development and improvements made within the City's Historic Downtown

SUBMITTAL REQUIREMENTS

Each of the below-listed submittal items is required to be submitted to the City **AT THE SAME TIME** in an electronic format (complying with the City's Electronic Document Requirements). Application fees are required to be paid when an application is submitted to the City.

1. MASTER LAND USE APPLICATION FORM

Is a form on which an applicant provides their name and contact information and other information needed to process this permit. This form is required to be downloaded from the City's Permit Portal and filled out.

2. DESIGN STANDARD CHECKLIST FORM

Is a checklist form upon which an Applicant documents compliance with the Design Review Standards by indicating where required items are located on the submitted plans. This form is required to be downloaded from the City's Permit Portal and filled out.

3. DESIGN STANDARD PLANS

Are to-scale plans containing all of the information listed as required in MVMC Chapters 17.70 and 14.05. Applicant's are required to download and complete a Design Standards Checklist form that outlines in detail what each of the below-listed submittal items are required to contain.

- A. Site Plans
- B. Architectural Plans and Elevations
- C. Landscape Plans
- D. Block Layout

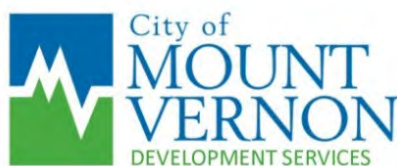
PROCESS AND TIMING

The time it takes to approve the Design Standards plans depends on how complex a project is, how many corrections Applicants are required to make, and how quickly and completely Applicants respond when we ask for corrections to the plans and/or materials submitted to us. We try to finish our initial review two weeks. We often ask you to make corrections after the initial review, which triggers a second review of your corrected plans.

ADDITIONAL INFORMATION

- Applicants are responsible for submitting complete applications
- The City's permit portal contains copies of the forms identified within this handout that are required to be filled out and submitted
- Construction related permits, e.g. Building Permit(s) and/or Fill & Grade Permit(s) cannot be issued until a Design Review permit has been issued.

The purpose of this handout is to assist the public in complying with detailed permit submittal requirements. It is NOT a complete list of permit or code requirements and should NOT be used as a substitute for applicable laws and regulations. It is the responsibility of the owner/design professional to review the submittal for completeness and applicability to other codes. Only complete applications can be accepted by the City for review.



DESIGN STANDARDS CHECKLIST FOR COMMERCIAL STRUCTURES IN THE HISTORIC DOWNTOWN

① PROPERTY WHERE STRUCTURE WILL BE PLACED

ADDRESS:

PARCEL
NUMBER(S):

② GENERAL INFORMATION

This form has been created to assist Applicants in creating complete, code compliant architectural and site plans for projects subject to Design Review per MVMC Chapter 17.70. Applicants are required to complete this form with the information requested throughout the form and to check the plans they wish to submit to make sure they contain each of the items listed below.

- All plans are required to be a minimum of 11" x 17" in size and must be drawn at an architectural or engineering scale, as applicable
- Plan set must contain the following sheets in this order and each sheet is required to contain the information listed below:
 1. **COVER PAGE:**
 - a. Applicant's Name, Address, Telephone Number and Email Address
 - b. Site Address, Parcel Number, and Lot number (if applicable)
 - c. Lot size
 - d. Total Square Footage of the Structure
 - e. Vicinity Map
 2. **SITE PLAN:**
 - a. Scale & North Arrow
 - b. Location, identification, and dimensions of all property lines and easements (all easements shown on the title report, Record of Survey, or plat must be dimensioned and shown)
 - c. Location, identification, and dimensions of all existing and proposed buildings and other structures
 - d. Location, identification, and dimensions of all setbacks
 - e. Location, identification, and dimensions of all existing and proposed on-site and adjacent streets, curbs, gutters, sidewalks, median islands, and street trees shall be included
 - f. Location and dimensions of existing and proposed critical areas (wetlands, streams, steep slopes) and their associated buffer areas
 - g. Existing and proposed contours and site elevations (i.e. finished grades) at 5-foot minimum increments
 - h. Location and dimensions of existing and proposed parking that includes driveways and the location and size of curb cuts
 - i. Location and dimensions of existing and proposed fencing or retaining walls.
 3. **FLOOR PLANS:**
 - a. Scale & North Arrow
 - b. Location, identification, and dimensions of all property lines
 - c. Building layout for each floor with the use of each room/area labeled
 - d. Window and door location and sizes labeled

4. ELEVATIONS:

- a. Scale & North Arrow
- b. Color renderings of the exterior elevations of the entire structure including its foundation and roof
- c. Color renderings of the exterior views of the entire structure and site that shows all colored/stamped sidewalks, driveways, trails, and landscaping
- d. Type of product, its color, and installation/construction methods (as applicable) for all siding, roofing, trim, all other materials to be applied to the exterior of the building, driveways, sidewalks/trails/paths, and all other elements/features incorporated onto the building/site
- e. All other materials to be used or applied on all exterior walls
- f. Exterior elevations showing all mechanical equipment and other features planned to be located on, or within 10-feet, of the exterior of the building
- g. Building height, from grade, labeled on all building exterior walls of different heights

5. LANDSCAPING PLAN:

- a. Scale & North Arrow
- b. Location, identification, and dimensions of all property lines and easements
- c. Location, identification, and dimensions of all existing and proposed buildings and other structures.
- d. Location and dimensions of planting areas
- e. Location and height of proposed berming
- f. Locations, elevations, and details for any proposed landscape-related structures such as arbors, gazebos, fencing, etc.
- g. Location, size, spacing, condition (i.e., container, bare-foot), and botanical and common names of existing and proposed trees, shrubs, and ground covers
- h. Decorative rockery or similar landscape improvements in relationship to proposed and existing utilities
- i. Names and locations of existing vegetation to remain
- j. Detailed planting specifications (soil mix, planting depth and width, and bark mulch depth)
- k. Plant material key and landscape counts as per the following table:

TYPE OF LANDSCAPE MATERIAL	COMMON AND BOTANICAL NAME	NUMBER	SIZE
Deciduous Trees			2-inch caliper
Evergreen Tree			7-foot
Ornamental Tree			3-foot
Shrubs			2-gallon
Ground Cover			1-gallon

6. PLAN SHOWING THE RELATIONSHIP TO OTHER STRUCTURES:

- a. Scale & North Arrow
- b. Location, identification, and dimensions of all property lines, building footprints, curb cuts and driveways to include all of the proposed structures and structures abutting the site
- c. Roof forms, porches, building elevations, building colors, and dominate façade modulation or fenestration to include all of the proposed structures and structures abutting the subject site

7. PROJECTS IN THE HISTORIC DOWNTOWN THAT INCLUDE RESIDENTIAL OR MIXED USES HAVE ADDITIONAL DESIGN STANDARDS FORMS THAT WILL NEED TO BE COMPLETED. CONTACT THE CITY FOR ADDITIONAL INFORMATION.

③ REQUIREMENTS FOR DEVELOPMENTS IN THE HISTORIC DOWNTOWN

DT-A: GROUND FLOOR TREATMENT, see pages 52 – 55 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. Ground floors accessed from Downtown Core and Secondary Core Streets are required to have a minimum 12 foot floor to ceiling height. *See Figure 1 on Page 4 of the Design Standards for a map identifying Downtown and Secondary Core Streets.*
List the ground floor to ceiling height here:

2. The design features described below shall be placed at a building's primary ground floor entrance. The primary entrance of a building is designed for access by pedestrians and abuts a sidewalk. The primary entrance is required to have all of the following:
 - A. Entrances off of Downtown Core Streets shall have transparent windows and/or doors that occupy at least 60 percent of the facade area between 2.5 feet to 12 feet above abutting grade.
 - B. Entrances off of Secondary Core Streets shall have transparent windows and/or doors that occupy at least 40 percent of the facade area between 2.5 feet to eight feet above abutting grade
 - C. Entrances off of streets not classified as Downtown or Secondary Core shall have transparent windows and/or doors occupying at least 20 percent of the facade area between 2.5 feet to eight feet above abutting grade

List the square footage of the façade area (as applicable) here:

List the square footage of the transparent windows and/or doors within the applicable façade area here:

List the percentage of the façade area comprised of transparent windows and/or doors here:

3. All buildings fronting on a Downtown Core Street and all other storefront facades (any other building facade within Downtown that abuts the sidewalk) are required to comply with the following:
 - A. Weather protection shall abut no less than 75 percent of the primary street façade facing Downtown Core Streets.
 - B. Weather protection shall project at least five feet from the building facade, except where nearby elements such as street trees or light poles require them to be narrower as determined by a licensed arborist.
 - C. On buildings with clerestory windows, the awning shall be placed at the transom between storefront windows and clerestory windows.

List the percentage of the primary street façade with weather protection:

List the projection in feet of the weather protection here:

Describe the placement of the weather protection in relationship to any clerestory windows or similar features here:

Buildings with non-storefront facades on Secondary Core streets are required to comply with the following:

- A. Weather protection projecting at least three feet from the building facade is required over all primary building, business, and residential entries.

List the length and projection of the weather protection here:

4. Additional design standards for all weather protection features:

- A. Weather protection shall be constructed of steel and glass, fabric, or other materials of a permanent nature. Vinyl or plastic awnings are not allowed.
- B. Weather protection shall have a matte finish. Glossy finishes are not allowed.
- C. Weather protection shall not be internally lit.

Does your project comply with all of the above-identified requirements? Explain here:

5. Entry doors to ground-floor spaces shall be largely transparent, with at least half of their area being clear glazing.

Describe how your project complies with this standard here:

6. A building's primary entrance shall be located in the principal facade of the structure, and shall be oriented toward the street. The primary entrance must be readily apparent as a prominent architectural component.

Describe how your project complies with this standard here:

7. Windows at street level shall permit visibility into the business, and visibility shall not be significantly obscured by translucent treatment, etching, signage, window darkening film, or other means. The intent of transparency requirements is to encourage pedestrians to focus on the products or services offered within the space.

Describe how your project complies with this standard here:

DT-B: BUILDING MASSING, ARTICULATION & HUMAN SCALE, see pages 56 – 57 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. The maximum width of any continuous nonresidential or mixed-use building facade facing a street shall be 120 feet without substantial vertical modulation and vertical definition that complies with the following:
 - A. Vertical modulation shall be no less than five feet deep and ten feet wide. For multi-story buildings the modulation must extend through more than one-half of the building height.
 - B. Vertical definition must be achieved by incorporating at least three of the articulation elements listed below within Standard B.2.

List the linear feet of all continuous building facades here:

Describe the dimensions of the vertical modulation provided here:

2. The maximum width of any continuous nonresidential or mixed-use building facade shall be 40 feet without the use of at least three of the following articulation elements used to differentiate articulated units of the building:
 - A. Vertical piers or columns
 - B. Change in building materials separated by trim, joints, or other features to provide an appropriate articulation transition
 - C. Window fenestration patterns and/or entries
 - D. Roof line modulation or articulation
 - E. Other design techniques that reinforce a humanscaled pattern that is compatible with the building's surrounding context.

List and describe the articulation elements used in your project here:

3. Windows exclusive of storefronts that can be viewed from Downtown and Secondary Core Streets shall comply with the following standards:
 - A. Windows shall have a vertical proportion of approximately 2:1 height to width. Ganged double-hung style windows are an exception.
 - B. All windows must be surrounded by trim, molding, sills, or other architectural features or patterns that emphasize building fenestration.
 - C. All windows must recess

List the vertical proportion of all windows that can be viewed from Downtown and Secondary Core Street here:

Are all windows surrounded by trim, moldings, sills, or other architectural features or patterns? Describe here:

Describe the recess of windows here:

4. All building facades on Downtown and Secondary Core Streets shall be composed of three sections to include a base, middle and top, i.e. tripartite design.

Describe how your project complies with this standard here:

5. All building facades on Downtown and Secondary Core Streets shall have roofs that incorporate three dimensional architectural material at the upper edge of facades or soffit overhangs. Roofs shall also include:
 - A. Decorative roof lines, including: cornices, frieze or other roof line elements visible from the ground.
 - B. Rooflines of all buildings fronting on Downtown Core Streets, and Secondary Core Streets north of Kincaid Street shall be flat, with parapets and/or cornices except where an applicant demonstrates that the architecture of the original building supports sloped roof design.

Describe how your project complies with this standard here:

DT-C: BUILDING FACADES & DETAILS, see pages 60 - 63 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. Existing brick or cast stone masonry facades abutting Downtown Core Streets shall not be covered, obscured, painted or in any way altered from their original condition, with the exception of finishes intended to repair, protect and seal the facade.

Does your project comply with this standard? Describe here:

2. Facades abutting Downtown Core Streets shall be (or shall reflect the characteristics of) stone, cast stone, terra cotta, or brick consistent with materials historically used in the downtown area. Wood and glass doors are allowed and wood trim is permitted in moderation.

Does your project comply with this standard? Describe here:

3. Building facades abutting Downtown Core Streets shall have muted, subdued colors used for large areas and backgrounds to unify the composition. One or two brighter colors can be used for trim, accent, or to highlight details.
 - A. Consideration of the color scheme and how it will coordinate with adjacent building facades and the block in which the building is located is required.
 - B. Abutting facades with the same color shall be avoided.
 - C. To streamline projects subject to design review, the City has pre-approved a number of paint colors that applicants can choose from contained in the Design Standards Handbook "Appendix A. Pre-Approved Colors for Downtown and Surrounding Areas" on page 75. No additional review of exterior colors is required when the pre-approved paint colors are used, so long as the chosen colors coordinate with and are not the same colors as adjacent building facades.

List the building colors and where these colors will be placed here:

List the colors of all abutting facades here:

4. When possible, applied facade materials shall be extended around building corners and extensions, or used only in recessed bays to avoid a “pasted-on” appearance.

Does your project comply with this standard? Describe here:

5. Flat blank walls are not permitted. Blank walls are defined as a wall or portion of a wall with a surface area of at least 400 square feet having both a length and a width of at least ten feet without a window, door, building modulation at least six-inches in depth or other architectural feature.

Does your project comply with this standard? Describe here:

6. Prohibited Materials. The following materials shall not be used as indicated within each element:
 - A. On buildings abutting Downtown Core Streets metal siding, corrugated fiberglass, mirror or metallized reflective glass, plywood, Masonite, chip board siding, exterior insulated finish system (EIFS), vinyl, and cinder-block (CMU) shall not be used.
 - B. Stucco and cement board panels or siding may be used only above ground floors on buildings abutting Downtown Core Streets.
 - C. Chain link fencing shall not be installed anywhere in the Downtown and Surrounding Areas mapped in “FIGURE 1. Downtown and Surrounding Areas & Street Types Subject to Design Review” on page 4. However, during construction chain link fences may be used on a temporary basis.
 - D. On a building abutting Downtown Core and Secondary Core Streets, field stone (natural or faux), exposed aggregate, and faux masonry are prohibited.
 - E. Vinyl siding is prohibited in the Downtown and Surrounding Areas mapped in “FIGURE 1. Downtown and Surrounding Areas & Street Types Subject to Design Review” on page 4.

List the building materials to be used on your project here:

Are you proposing to use any prohibited materials? Describe here:

7. All buildings fronting on Downtown Core and Secondary Core Streets shall incorporate at least two of the following elements into their ground floor facades:

- A. Transom windows
- B. Recessed entry
- C. Decorative door
- D. Decorative, building-mounted light fixtures
- E. Bay windows
- F. Decorative use of materials, e.g. mosaic tiles,
- G. wrought iron, corbels, or outlooks
- H. Other detail elements that add visual interest to the façade

List and describe the elements being incorporated into the ground floor facades here:

8. Lighting shall be used to emphasize the building and landscaping, and to provide visibility and general security. All lighting shall be incandescent or LED and is required to comply with the following:

- A. All exterior lighting (building and landscape) shall be integrated with the building design, create a sense of safety, and encourage pedestrian activity after dark.
- B. Use adequate lighting along sidewalks and alleys to provide well-lit pedestrian walkways.
- C. Exterior lighting shall be shielded to reduce glare and eliminate light being cast into the night sky.
- D. Flashing or strobe type lighting is prohibited.
- E. Alleys shall be illuminated for safety, vehicle and pedestrian use.

Describe the building and landscaping lighting here:

Describe compliance with the listed requirements (A to E) here:

DT-D: BUILDING LOCATION & SITE PLANNING, see pages 64 - 65 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. Buildings on Downtown Core Streets shall be placed on the street edge lot lines with parking located to the side or behind buildings.

Explain below how you have met this requirement with the plans you are submitting:

2. Pedestrian friendly building elements shall be incorporated at intersections, street corners, buildings with two street frontages, and alley entrances by incorporating features such as inset corners, plazas, decorative landscaped areas, cropped building corners, and display windows.

Explain below how you have met this requirement with the plans you are submitting:

3. Decorative treatments within the sidewalk, including special paving patterns and building entryway tiling shall be preserved or replicated.

Explain below how you have met this requirement with the plans you are submitting:

4. The use of alleys for services and public-oriented activities shall be required and maintained.

Explain below how you have met this requirement with the plans you are submitting:

5. Surface parking lots abutting the street shall be screened with a landscaping buffer that is no less than five feet in depth and has smaller street trees planted on 15 foot centers, or 30 feet depending on type of tree, with shrubs between the street trees to fill out the planter area. A low concrete wall, elevated planter, or other similar feature shall be installed in conjunction with the planter strip to screen the parking area visible from public streets.

Explain below how you have met this requirement with the plans you are submitting:

DT-F: SIGNS, see pages 68 - 71 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. Signs must be used in a way that compliments the building and historical conditions in material, style, and color.

Explain below how you have met this requirement with the plans you are submitting:

2. Wall signs shall be required to comply with a standard limiting them to two-thirds the dimension of the articulation interval of the facade they are placed on. Wall signs shall also be centered and proportional to the building facade.

List the linear feet of each articulation interval of the façade signs will be placed on here:

List the linear feet of each sign here:

Are the sign(s) two-thirds of the articulation interval?

3. Signs shall primarily be located on flat panels of the facade, painted directly on the store front windows, upper story windows, on awnings, or mounted to bars perpendicular to the building.

Describe how all of the proposed signs will be installed here:

4. Signs may not cover or obscure architectural features of a building, including windows, cornices, or columns.

Explain below how you have met this requirement with the plans you are submitting:

5. Sign Materials. Painted signs in storefront windows and single-faced, flat-surfaced, painted wood signs are all allowed and are preferred signage. Vinyl letters are allowed. Extruded aluminum or plastics are not allowed.

List the proposed sign materials here:

Will your proposed signs comply with this standard?

6. Signage visible on ground-floor windows shall not exceed 30 percent of the total window area per tenant.

- A. Signage shall not be installed on any storefront window in the portion of the window between four to six feet above the sidewalk on buildings abutting Downtown Core Streets.

List the square footage of all ground floor windows here:

List the square footage of all proposed signage proposed on ground floor windows here:

List the percentage of ground-floor window square footage to window signage here:

7. Bonus Blade Signs. Blade signs (double-faced projecting signs hanging or projected perpendicular to the building) are encouraged. Blade signs shall not count towards the maximum sign allowance per MVMC Chapter 17.87 so long as they comply with all of the following:

- A. They shall be consistent in design with District goals of historical compatibility and sensitivity. No more than one blade sign shall be allowed for every 40 feet of building frontage on a public road (excluding alleys).
- B. Blade signs cannot be placed closer than 15 feet from each other when installed on similar horizontal planes.
- C. Each blade sign shall not exceed eight square feet in size.
- D. Horizontally-oriented blade signs shall not extend more than eight-feet from the face of a building; and vertically-oriented blade signs shall not extend more than three feet from the face of a building.
- E. Structural supports for hanging signs shall be of a dark or subdued color.

If you are installing bonus blade signs explain below how you have met all of the above-listed requirements with the plans you are submitting:

8. Signage shall not be allowed to project over the roof line of any structures.

Does your proposed signage comply with this requirement?

9. Sign Lighting. Sign lighting shall be subdued in brightness and use LED source, or a source that replicates the warmth and color quality of incandescent lighting.

- A. Internally illuminated cabinet signs are not permitted.
- B. Signs that flash, blink, vary in intensity, revolve, or are otherwise in motion or appear to be in motion are not permitted.

Describe the lighting source for your proposed signs here:

Does your proposed signage comply with these requirements?

10. Awning, canopy, and marquee signs shall comply with the following as applicable:

- A. Awning signs shall be painted or screened directly onto the fabric.
- B. Awning signs shall be painted or screened directly onto the fabric.
- C. Awning and canopy signs shall consist of no more than two colors.
- D. Canopy signs shall be individual, channel-cut characters of metal, wood, or composite and shall be mounted on the top of the canopy at the front edge.

If you are proposing signage on awnings, canopies or marquee signs describe how you are complying with the listed requirements here:

11. Custom Neon Signs. Letter style, color, intensity and overall impact of the neon sign shall be evaluated for compatibility with the other signs and buildings in the District. Neon signs shall be designed to reflect the unique nature of the use within. Non-custom neon signs are not permitted.

Does your proposed signage comply with these requirements?

12. Electronic message center (EMC) signs are not allowed. EMCs are signs capable of displaying words, symbols, figures or images that can be electronically changed by remote or automatic method.

Does your proposed signage comply with these requirements?

DT-G: OUTDOOR UTILITIES, FACILITIES & RELATED ITEMS, see pages 72-73 within the Design Review Handbook for examples of how compliance can be achieved for this element

1. All mechanical equipment, utility meters and vaults, rooftop mechanical and communication equipment shall be screened from pedestrian view at streets.

Explain below how you have met this requirement with the plans you are submitting:

2. Newly constructed buildings shall have dumpsters located within the dripline of the buildings and shall be enclosed within a structure approved by City's sanitation department.

Explain below how you have met this requirement with the plans you are submitting:

NOTICE OF APPLICATION & DESIGN REVIEW BOARD PUBLIC HEARING

PROJECT DESCRIPTION: The City's Design Review Board will be reviewing and approving the new façade, parking and landscaping site subject to design review per Mount Vernon Municipal Code Chapter 17.70 for the approximate 6,705 square foot Bank of America building located on the below-described approximate .68-acre site. **City File: PLAN21-0069**

PROJECT LOCATION: The site is addressed as 320 West Kincaid Street, is described by the Skagit County Assessor as parcels P54136 and P54137, and is within a portion of the SE ¼ of Section 19, Township 34N, Range 04E, W.M.

PROJECT APPLICANT:
Magellan Architects
Attention: Paul Soldwedel
8383 158th Ave NE, Suite 280
Redmond, WA 98052
(425) 885-4300

PROPERTY OWNER:
Lindberg Family Trust
Attention: John G. Kamb
702 Main Street
Mount Vernon, WA 98273

APPLICATION COMPLETE ON:	February 11, 2021	TECHNICALLY COMPLETE:	March 10, 2021
-------------------------------------	-------------------	----------------------------------	----------------

PERMITS REQUESTED:	Design Review by the Design Review Board	ENVIRONMENTAL DOCUMENTS:	None with this application.
---------------------------	---	-------------------------------------	-----------------------------

PUBLIC COMMENT PERIOD: Comments on the Notice of Application must be submitted, in writing, no later than **April 1, 2021**. Comments should be as specific as possible and include; your full name, your mailing address, and the name of the proposal you are commenting on.

Comments are required to be mailed or delivered to the Development Services Department at the address listed above. Public comments are not accepted by the department through email. Comments not meeting the requirements of this section are considered as not being received by the city.

Any person may comment on the application, receive notice and request a copy of the decision once it is made. To receive additional information regarding this project contact the Development Services Department and ask to become a party of record.

PUBLIC HEARING: A public hearing on the above described project will be held by the Mount Vernon Design Review Board on **APRIL 6, 2021** via Zoom starting at 1 PM. Those wishing to participate in this virtual hearing must call 360-336-6214 or email: PermitTech@mountvernonwa.gov no later than 12 PM on April 6, 2021 to receive information needed to participate in this hearing. Comments received and/or made at the public hearing will be limited to Design Review elements of this proposal.

City staff has created a page on the City's permit portal where the site plans, technical reports, and other pertinent information can be viewed by following these directions: navigate to: <https://ci-mountvernon-wa.smartgovcommunity.com/Public/Home> once on this webpage click on the blue "GO" link under the heading "My Portal". Type in the project number identified in this notice into the search bar near the top of the screen. Click on the project number listed below the search bar when it appears.

CITY CONTACT: Further information can be obtained by contacting the following:
City of Mount Vernon, Development Services Department
Contact: Rebecca Lowell
910 Cleveland Ave.
Mount Vernon, WA 98273
(360) 336-6214

ISSUED & PUBLISHED: March 19, 2021

DISTRIBUTED TO: Owners within 300-feet of the project site, NW Clean Air, Skagit PUD #1, PSE, Frontier, CNG, Port of Skagit, Skagit County PDS, Skagit Council of Governments, MVSD #320, Skagit Valley College, Skagit County Assessor, WSDOT, Dike and Drainage Districts